



**DILLON**

CO L O R A D O

**TOWN OF DILLON  
PLANNING AND ZONING COMMISSION**

**SPECIAL MEETING  
Wednesday, June 28, 2017  
5:30 p.m.  
Dillon Town Hall  
275 Lake Dillon Dr.**

**AGENDA**

1. **Call to Order**
2. [Approval of the minutes](#) of the June 7, 2017 regular meeting.
3. **Public Comments:** Open comment period for planning and zoning topics not on tonight's agenda.
4. [Consideration of Resolution No. PZ 07-17, Series of 2017](#); A RESOLUTION BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, RECOMMENDING THE APPROVAL OF A LEVEL IV DEVELOPMENT APPLICATION FOR AN AMENDMENT TO BLOCK 6 OF THE EXISTING DILLON RIDGE MARKETPLACE PLANNED UNIT DEVELOPMENT FOR THE APPROVAL OF 3 APARTMENT BUILDINGS WITH A TOTAL OF 36 APARTMENT UNITS LOCATED ON LOT 6 OF THE DILLON RIDGE MARKETPLACE PLANNED UNIT DEVELOPMENT, DILLON, COLORADO; AND, SETTING FORTH DETAILS IN RELATION THERETO.
5. **Announcement of new Commissioner, Kevin Stout**
6. **Election of Chairman of the Planning and Zoning Commission**
7. **Discussion Item:** Follow-up discussion for PUD amendments regarding maximum allowable heights and off-street parking requirements.
8. **Other Business**
9. **Adjournment**

**TOWN OF DILLON  
PLANNING AND ZONING COMMISSION**

**REGULAR MEETING  
WEDNESDAY, June 7, 2017**

**5:30 p.m.  
Town Hall**

**CALL TO ORDER**

The regular meeting of the Planning and Zoning Commission of the Town of Dillon, Colorado, was held on Wednesday, June 7, 2017, at Dillon Town Hall. Vice Chair Amy Gaddis called the meeting to order at 5:35 p.m. Commissioners present were: Jerry Peterson and Teresa England. Chairman Nathan Nosari and Commissioner Charlotte Jacobsen were absent. Staff members present were Dan Burroughs, Town Engineer; and Corrie Woloshan, Recording Secretary.

**APPROVAL OF THE MINUTES OF MARCH 1, 2017 REGULAR MEETING**

Commissioner Jerry Peterson moved to approve the minutes from the March 1, 2017 regular meeting. Commissioner Teresa England seconded the motion, which passed unanimously.

**PUBLIC COMMENTS**

There were no public comments.

**CONSIDERATION OF RESOLUTION NO. PZ 04-17, SERIES OF 2017;** A RESOLUTION BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, RECOMMENDING THE AMENDING OF CHAPTER 16, "ZONING," ARTICLE V, "PLANNED UNIT DEVELOPMENT," SECTION 16-5-120 "PUD DEVELOPMENT STANDARDS," ARTICLE VI, "OFF-STREET PARKING AND LOADING," SECTION 16-6-40 "GENERAL PARKING REQUIREMENTS," AND SECTION 16-6-60 "DESIGN STANDARDS FOR OFF-STREET PARKING SPACES AND FACILITIES," ESTABLISHING ADDITIONAL PROVISIONS FOR ALLOWABLE BUILDING HEIGHTS WITHIN A PUD, PARKING LOT DESIGN, AND OFF-STREET PARKING REQUIREMENTS.; AND, SETTING FORTH DETAILS IN RELATION THERETO.

**SUMMARY:**

The following changes are proposed to the Town of Dillon planning and zoning regulations:

- A. Cap the maximum height that can be requested in a Planned Unit Development to an additional 40% more than the height allowed in the underlying zone district; Require all Planned Unit Developments which request additional height, to meet additional parking criteria including placing 65% of the parking beneath the main floor to enhance the street level appeal of the building.
- B. Add additional criteria to off-street parking requirements for a PUD.
- C. Eliminate a separate set of standards for parking generation calculations in the Core Area Zone.
- D. Add a provision in the Off-Street Parking Standards to allow a vehicle to back into a public right-of-way from an off-street parking lot under certain circumstances.

These Changes are explained in greater detail below:

**A. Cap the maximum height that can be requested in a Planned Unit Development to an additional 40% more than the height allowed in the underlying zone district; Require all**

**Planned Unit Developments which request additional height, to meet additional parking criteria including placing 65% of the parking beneath the main floor to enhance the street level appeal of the building.**

Town staff needs a tool to help define the absolute maximum height allowable in a planned unit development. Right now it is somewhat a free for all, and Town staff cannot give potential developers quantifiable direction on what building height is too high.

After the Dillon Crossroads project review, the community decided that a 90' building is way too tall. Town staff would propose that we cap any building height in a planned unit development to an additional 40% more than the underlying zoning district would allow.

In the Core Area Zone District, this would allow a building to be  $50' + (0.40) \times 50' = 70'$ .

In the Commercial Zone District, this would allow a building to be  $40' + (0.40) \times 40' = 56'$ .

IN both cases, the code allows an additional 8' in height for non-habitable architectural elements such as elevator towers, roof peaks, bell towers, etc...

*This code change to Section 16-5-120 PUD Development Standards, **Sub-section (f) Building Height**, simply defines the upper limit of a height increase within the context of a planned unit development and caps it at 40% more than the underlying zone district. It further requires that a 100% of the parking required by code be met. See the attached code section and resolution.*

**B. Add additional criteria to off-street parking requirements for a PUD.**

*Subsection (i) Off-Street parking of Section 16-5-120 PUD Development Standards will be modified with the following language to prevent any funny business as to how an applicant can apply the parking code to his/her project. The following code language was added:*

- (2) The number of off-street parking spaces for each use in a PUD may not be reduced if the PUD requests an increase in building height.
- (3) The number of off-street parking spaces may not be reduced through the use of valet parking.
- (4) The applicant shall submit a parking generation report prepared by a licensed Traffic Engineer in order to justify the proposed parking reductions and amount of parking provided for the development.

**C. Eliminate a separate set of standards for parking generation calculations in the Core Area Zone.**

The Town of Dillon Municipal code currently has two sets of standards for calculating the required amount of parking generated by different types of uses. One set is applied to the Town Center Core Area (CA) zoning (Section 16-6-40(b)) and the other set is applied to the rest of the Town (Section 16-6-40(a)). The Core Area parking regulations arbitrarily require less parking than is required in the rest of town.

For example, retail uses require 1 space per 400 square feet of floor area outside the Core Area and retail uses require only 1 space per 650 square feet within the core area. As an example, a 4,000 square foot retail use in the Core Area would only require 7 parking spaces, whereas the same development in the rest of the Town would require 10 spaces.

Town staff believes the parking generation for the rest of the Town is more aligned with the actual parking spaces required for a development.

As the Town moves forward with redevelopment of the Town Center, analyzing the true impact to the Town's available parking pool of around 500 parking spaces is very important. So utilizing the parking regulations that have been applied to our successful Dillon Ridge Marketplace development areas and adjacent commercial and retail establishments in the Anemone Trail area of Town seems the most appropriate.

*The code change simply deletes subsection (b) of Section 16-6-40 and renumbers the subsequent subsections accordingly.*

**D. Add a provision in the Off-Street Parking Standards to allow a vehicle to back into a public right-of-way from an off-street parking lot under certain circumstances.**

In working with a developer on redeveloping Lot 16R, it has become apparent that the simplest way to allow this project to develop and provide the required number of onsite residential parking is to allow a row of their off-street parking lot to back into the parking aisle which remains in the Reconfigured Parking Lot B. Parking Lot B has one row of head-in 90° parking along the west side that is available for public parking; the developer is proposing a row of head-in 90° parking on the east side as well. This only makes sense because the parking lot was originally designed this way.

However, the code does not allow offsite parking to back into a public Right-of-way. In this unique circumstance, Parking Lot B actually exists in a dedicated right-of-way. So the code does not at this time allow off-street parking to use this existing 24' wide parking aisle to service offsite parking spaces.

To accommodate this unique circumstance, the Town is proposing that the code be changed to allow spaces from a private off-street parking lot to back into an unnamed right-of-way used for parking.

This parking change would also bring the Town's off-street parking into compliance with the code.

**STAFF RECOMMENDATION:**

Staff recommends approval of Resolution PZ 04-17, Series of 2017.

Commissioner Teresa England supports the idea. Commissioner Jerry Peterson mentioned everyone will ask for a variance. Dan Burroughs, Town Engineer explained they'd have to prove an economic hardship and Council would have to buy off on it. Buildings need to be compatible with the surrounding area. Core Area zone used to be 40 feet, and they raised that to 50 feet for the whole Core Area when La Riva was built.

Vice Chair Amy Gaddis asked, what is the highest building in Town? Dan Burroughs, Town Engineer said it is La Riva, at 50 feet plus 8. They did everything they could, put parking underground, to minimize the height of the building. Everything is based on perception and where you measure it from.

Vice Chair Amy Gaddis questioned, do we need to put something in here that if you're going above 50 foot you have to start reducing as you go up? Dan Burroughs, Town Engineer, said there are Towns that do this, have to step back with each level, like a wedding cake. Would be a good rule to implement. Again, the PUD process is there.

Vice Chair Amy Gaddis asked, do you feel we could request perspective of the street showing existing condition and what the new would look like? Dan Burroughs, Town Engineer replied, absolutely. Commissioner Teresa England mentioned, I think the massing model is a good idea. I hesitate getting into specific design criteria, if we think it's appropriate suggest but don't make step back a rule. Vice Chair Amy Gaddis added, it's not uncommon when buildings get above a certain height you don't want it to look so

large. Dan Burroughs, Town Engineer informed, Frisco's architecture requires stepping. Vice Chair Amy Gaddis expressed it's also a pedestrian feel, where you don't feel like you're standing next to a tall building. Dan Burroughs, Town Engineer said I can bring you more information on Frisco's design guidelines. Their codes are more complicated because you get points for meeting certain things and lose points for others. Vice Chair Amy Gaddis requested that we talk to Roth Sheppard regarding the 40% and if they would recommend a change above that height.

**PUBLIC HEARING:**

A **Public Hearing** is required for this resolution.

Vice Chair Amy Gaddis opened the public hearing at 6:10 p.m.

Jim Hartmeier, Lookout Ridge – Expressed the 40% overage on zoning height he didn't originally like. Spoke with Dan about it. Concern is, it would allow for a building 78 feet high. Do we really have a need for a 78 foot building? Wording needs to be cautious. Suggest starting off with a lower percent and seeing how that goes.

Danny Eilts, 324 W Buffalo – Said he submitted plans for the Crossroads project, it appears all of this is coming out of that process. I thought one reason for a PUD was to attract developers, but it sounds like we're putting more restrictions on a PUD. You're going to chase developers away. I don't know enough about the 40% but my initial response is you're making the process more difficult to do a PUD and increases the cost of a project. Maybe you don't need a PUD process, you're chasing developers away. Vice Chair Amy Gaddis asked what the height was on his project? Dan Burroughs, Town Engineer replied it was almost 90 feet, more than twice what we allow. This is why we're here today. From a staff standpoint we need to know what to tell developers. We're trying to work with the community, PNZ, and Council so that developers have better guidelines when putting money towards something that will succeed. We are fact finding now but again Council said not to bring them PUD changes.

Vice Chair Amy Gaddis closed the public hearing at 6:17 p.m.

Commissioner Teresa England moved to approve sections 3 and 4 of Resolution NO. PZ 04-17 Series of 2017. Commissioner Jerry Peterson seconded the motion, which passed unanimously upon roll call vote.

**CONSIDERATION OF RESOLUTION NO. PZ 05-17, SERIES OF 2017**

A RESOLUTION BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, RECOMMENDING THE AMENDMENT OF CHAPTER 16, "ZONING," ARTICLE VIII, "DESIGN GUIDELINES" OF THE DILLON MUNICIPAL CODE OF THE TOWN OF DILLON, COLORADO TO ADD A NEW SECTION 16-8-120, "MARCH 2017 TOWN OF DILLON DESIGN GUIDELINES;" AND, SETTING FORTH DETAILS IN RELATION THERETO.

**SUMMARY:**

The Town and Roth Sheppard Architects have worked with community members through workshops and forums, community advisory committees, and Town Council work sessions discussing the creation a cohesive vision for the built environment in the Town of Dillon. The "March 2017 Town of Dillon Design Guidelines" (Guidelines) are the culmination of a community based and architecturally focused visioning effort to create unique design guidelines that will help to create complimentary developments with quality

architectural elements that acknowledge Dillon’s mountain lake setting. They provide a design framework supporting Dillon’s ‘*Mountain Lakestyle*’ brand. These are guidelines for architects, developers, and the Town to utilize when planning, designing, proposing, reviewing, and constructing projects with architectural elements, themes, and visions found in the Guidelines.

The Guidelines are attached to Resolution PZ 05-17, Series of 2017 as Exhibit ‘A’.

The Planning and Zoning Commission has reviewed the Guidelines through various drafts, and had a presence on the Economic Development Advisory Committee during the development of the Guidelines. The Town Council has contributed to the effort through numerous work sessions with the design and development team. The Commission last reviewed the Guidelines in a study session during the March 2017 regular meeting. This Resolution provides the Dillon Municipal Code adoption by reference language to support their use as a guiding document to create complimentary, high quality developments in the Town of Dillon.

The Resolution provides the Code language to adopt the Guidelines by reference. The Guidelines remain a separate document which the Code references. The Colorado state statutes and Town Charter provide that the “March 2017 Town of Dillon Design Guidelines” may be adopted by reference. This adoption by reference is how the Code provides for the Building and Fire Codes, for example. These codes are amended from time to time, and then adopted by reference to reflect the passage of time and improvements in design and life safety.

The Resolution recommends that the Town Council adopt the amendment to Chapter 16 “Zoning”, Article VIII “Design Guidelines,” by adding a new Section 16-8-120 “March 2017 Town of Dillon Design Guidelines”. The new Code section reads as follows:

**Sec. 16-8-120 “March 2017 Town of Dillon Design Guidelines”**

Pursuant to the Home Rule Charter, Section 3-12, there is adopted the “March 2017 Town of Dillon Design Guidelines”, by reference thereto.

**STAFF RECOMMENDATION:**

Town staff believes it is in the best interest and well-being of the Town to adopt this Chapter 16 amendment, by adding a new Section 16-8-120 “March 2017 Town of Dillon Design Guidelines,” and recommends approval of Resolution PZ 05-17, Series of 2017.

Amy – we made only a few changes to this, is it otherwise the same? Dan – yes, this has also been approved by Town Council. Teresa – do you want them to take a look at the concept of stepping back? Amy – I’d be surprised if it wasn’t in here in terms of facade. If we want to look at increasing the height, if we put it into the guidelines vs the code could we amend this? Teresa – they talk about the character of the building fitting into the architecture of surrounding buildings. That’s why I hesitate to make it iron clad, it might not fit in all situations.

**PUBLIC HEARING:**

A **Public Hearing** is required for this resolution.

Vice Chair Amy Gaddis opened the public hearing at 6:24 p.m.

No public comments.

Vice Chair Amy Gaddis closed the public hearing at 6:25 p.m.

Commissioner Teresa England moved to approve Resolution NO. PZ 05-17 Series of 2017. Vice Chair Amy Gaddis seconded the motion, which passed unanimously upon roll call vote.

**CONSIDERATION OF RESOLUTION NO. PZ 06-17, SERIES OF 2017;** A RESOLUTION BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, APPROVING A LEVEL III DEVELOPMENT APPLICATION FOR A CONDITIONAL USE PERMIT FOR AN ACCESSORY APARTMENT AT 151 TENDERFOOT STREET, DILLON, COLORADO; AND, SETTING FORTH DETAILS IN RELATION THERETO.

**SUMMARY:**

The Town received an application for a Conditional Use Permit for an Accessory Dwelling Unit at 151 Tenderfoot Street, Lot 16, Block L, New Town of Dillon, Dillon, Colorado. The proposed project would include the construction of a three car garage addition with a small Accessory Dwelling Unit above it. The application demonstrates conformance to the Code Sections pertaining to Conditional Use Permits and Accessory Dwelling Units, Section 16-5-220 and Section 16-4-40, respectively.

**Project:** Pasterkamp Addition with Accessory Apartment

**Location:** Lot 16, Block L, New Town of Dillon

**Address:** 151 Tenderfoot Street

**Owners:** Jim and Susan Pasterkamp

**Architect:** Bill Marvin, Hodges/Marvin Architects, Inc.

**Development Application:** Level III Conditional Use Permit for an Accessory Apartment; Residential Remodel with attached garage footprint addition.

**Application Date:** April 24, 2017

**Code Analysis:**

*Zoning:* Residential Low (RL). Accessory Apartments are permitted through a Level III Conditional Use Development Permit process. Two (2) parking spaces shall be provided for the accessory apartment, the apartment shall not exceed 900 SF nor be greater than 1/3 of the primary residence, the apartment shall be deed restricted to minimal six (6) month rental terms and the apartment may not be sold as a separate property. Additional water / sewer tap fees shall be paid.

An Accessory Dwelling Unit may be permitted in the RE, RL, RM, and RH zones in a single family residence (Sec. 16-4-40). The subject property is zoned Residential Low (RL). The provisions required in this Code section to satisfy this allowance are provided in detail, by subsection, in Resolution PZ 06-17, Series of 2017. This application does meet those provisions

*Yards (Setbacks):* The side setbacks for the RL zone are 8', and the proposed addition is set back greater than eight feet from the side lot line. The proposed addition is also well clear of the required 15' rear yard and 20' front yard. (Sec. 16-3-130)

*Easements:* The proposed addition will not be constructed in any known easements. (Sec. 16-9-10)

*Parking:* Two (2) dedicated parking spaces are required for the proposed Accessory Dwelling Unit.

*Comprehensive Plan Reference:*

- Section 6, Part II “Land Use Guidelines” refers to the desire to create diversity in residential land uses in an effort to increase year-round residents in the community.
- Section 6, Part III “Residential / Mixed Use Zoning Classification” provides for up to six (6) units per acre in the Residential Low zoning district and states that accessory units are permitted in the zone.

*Square Footage Analysis:*

Existing:

Main: 960 SF

Upper: 960 SF

Total: 1920 SF

Proposed:

Stairway: 358.5 SF

Garage / 3-Car: 1008 SF

Accessory Apartment above Garage: 1-Bed – 1-Bath / Kitchen with Oven: 696 SF

Total: 2062.5

Total Residence with Addition: 3982.5 SF

Total Heated Living Area (Excludes Garage): 2,974.5 SF

Percentage of Total SF:  $696 \text{ SF} / 2974.5 \text{ SF} = 23.4\%$  (33.3% Permitted by Code)

*Lot Coverage:*

Lot Size: 22,500 SF

Existing Structure: 1020 SF

Existing Shed: Assume  $10' \times 12' = 120 \text{ SF}$

Proposed: 1355 SF

Total Lot Coverage: 2,495 SF

Percent Lot Coverage:  $11.1\%$  (40% Allowed by Code)

*Snow Storage:*

Area to be cleared of snow: 1,290 SF

Snow Storage Requirement:  $1,290 \text{ SF} \times 0.25 = 322.5 \text{ SF}$

Snow Storage Provided: 330 SF

*Parking:*

Three (3) parking spaces are provide in the garage and at least two (2) exterior parking spaces are provided on site. Of those spaces, two (2) are to be reserved for the accessory apartment.

*Building Height:*

Low ground elevation: 97.7' (southeast elevation)

High ground elevation: 98.6' (northwest elevation)

Base Elevation: 98.2'

Highest Ridge Elevation:  $124' - 7\text{-}1/8'' = 124.7'$

Building Height:  $124.7' - 98.2' = 26.5'$  (30' Permitted by Code)

*Architecture:*



The project has timbers and beams, wood siding, stone features, and design characteristics described in the Town of Dillon Architectural Guidelines. The architectural design exhibits aspects of historic mountain architectural elements in the roof lines and building elements depicted in the Guidelines, and is complimentary with the existing structure and surrounding neighborhood. The design has articulation and varied roof pitches and elevations. Gable truss features and hardware tie the addition aesthetically with the existing residence. The proposed colors lend to a complimentary aesthetic.

*Street Trees:*

Code Requirement:

**Sec. 16-7-30. - Specific requirements.** Excerpt

(e) Trees shall be provided in the following manner:

- (1) Street trees shall be provided for all projects where front yards are required, at a rate of one (1) tree for every fifteen (15) linear feet, or fraction thereof, of street frontage, including street side yards.
- (2) In addition to the street trees required above, trees shall be provided for all projects other than single-family, at a rate of one (1) tree per five (5) parking spaces or fraction thereof. These trees shall be placed within or immediately adjacent to the parking lot.
- (3) Within all other yards, trees shall be provided in a number adequate to buffer the project from adjacent uses.
- (4) All required trees shall be a minimum of six (6) feet in height, with the exception that twenty-five percent (25%) of the required trees for any project shall be a minimum of eight (8) feet in height.
- (5) All required trees shall have a minimum caliper, measured two (2) inches above ground level, of one and one-half (1½) inches.
- (6) A minimum of thirty percent (30%) of all required trees shall be evergreens, and at least twenty-five percent (25%) of the evergreens shall be a minimum of eight (8) feet in height.

**-Required Trees:** 100 LF Frontage / (1 tree/15 LF) = 7 trees, 3 of which shall be evergreens

Site Evaluation:

The site plan shows 11 evergreen and aspen trees in the front portion of the 100' wide property. The site is heavily vegetated with a mix of deciduous and evergreen trees. No additional trees are required to screen the residence from the roadway.

*Water / Sewer Tap Fees (EQR's):*

- Existing 2-Bed / 2-Bath home: 1 EQR assessed balance
- 0.65 EQR's additional assessed for 1-Bed / 1- Bath / Full Kitchen Apartment
  - = 0.65 EQR x \$14,966.00 = **\$9,727.90 due**

*Impact Fees:*

Summit County Housing Authority 5A affordable housing funding.

- Additions between 1,500 and 2,499 SF are assessed \$0.50 / SF.
- Proposed addition:
  - Total SF Proposed: 2,062.5 SF
  - Garage Exemption: -600 SF (per 5A Measure)
  - Assessed Area: 1,462.5 SF
- Impact Fees Due: \$0.50/SF x 1,462.5 SF = **\$732.25 due**

**CONDITIONS OF APPROVAL:**

1. The applicant shall obtain a Grading and Excavation Permit with the Town prior to performing any site disturbing activity.

2. The foundations shall be surveyed by a Colorado Licensed Surveyor and an Improvement Location Certificate plat provided to the Town prior to Building Permit finalization. The following information is to be provided: location of the foundation showing adherence to the setbacks, and providing a building height certification meeting the maximum building height limit.
3. The applicant shall re-vegetate all disturbed areas by planting a native grass seed or turf grass seed mix, ensure growth through watering or irrigation, and maintain a vegetative ground cover.
4. The applicant shall pay the required water and sewer tap fees.
5. The applicant shall pay all applicable Impact Fees.
6. The applicant shall file with the Town the required restrictive covenant preventing subdividing into separate ownership.
7. The applicant shall file with the Town a deed restriction that prevents short term rentals of the Accessory Apartment.
8. The applicant shall verify the functionality of the water service curbstop valve. The curbstop water service valve shall be observed and documented as functional by the Dillon Water Department. It is the owner's responsibility to maintain the curbstop valve in an operational condition in accordance with the Dillon Municipal Code.

**STAFF RECOMMENDATION:**

Staff recommends approval of Resolution PZ 06-17, Series of 2017.

**PUBLIC HEARING:**

A **Public Hearing** is required for this resolution.

Vice Chair Amy Gaddis opened the public hearing at 6:25 p.m.

Bill Marvin with Hodges/Marvin Architects presented. Separate entry doors for the accessory unit were discussed. Commissioner Jerry Peterson asked if the accessory unit will have a separate heating system. Jim Pasterkamp, 151 Tenderfoot Dr – explained, for now it will be shared. He is a mechanical contractor and will eventually re-do the whole system.

Dan Burroughs, Town Engineer said this is compliant with our accessory apartment code. He will enter into a covenant with the Town that they can't short term rent and they can't subdivide.

Vice Chair Amy Gaddis read letter received 6/7/2017 from Dennis Boyd, 159 Tenderfoot St, supporting the conditional use permit. Looks like an excellent design and it will help mitigate the housing shortage we have in Summit County. Please use dirt excavated from property to create berm. I also think you are being optimistic with snow storage.

Vice Chair Amy Gaddis asked, is there anything in the code re: snow storage? Dan Burroughs, Town Engineer answered, yes 25%, he's met that. Commissioner Jerry Peterson commented I think berm is a great idea. Dan Burroughs, Town Engineer said typically you wouldn't allow berms but all along Tenderfoot have been berms built by owners for sound masking. Pretty much everyone has one. All utilities are overhead so not an issue with the berm. Just drainage if they're directing drainage into their neighbor.

Jim Pasterkamp – also owns 155 Tenderfoot. Knows the noise issue very well. We have a lot of vegetation in the back lot and I'm torn between removing vegetation and putting berm back there. I know TOD owns the tip corner and next door is commercial. If the city wants to build a berm back there I'd be willing to talk to them about it.

Vice Chair Amy Gaddis closed the public hearing at 6:38 p.m.

Commissioner Jerry Peterson moved to approve Resolution NO. PZ 06-17 Series of 2017.  
Commissioner Teresa England seconded the motion, which passed unanimously upon roll call vote.

**OTHER BUSINESS**

Peterson -- Why doesn't Town decide what they want to do with Danny? Dan Burroughs, Town Engineer mentioned Danny presented to Council last night. Kerstin's going to give him a formal letter. Some of the Commissioners still think it's too tall and there aren't enough parking spots. The height now is 64 feet. Right now there's no guidance to staff or the applicant on height. We're trying to remove some of the guess work with this.

We have a special meeting set for Wednesday, June 28<sup>th</sup>, 2017 at 5:30.

**ADJOURNMENT**

There being no further business, the meeting adjourned at 6:43 p.m.

Respectfully submitted,

**Corrie Woloshan**

Corrie Woloshan  
Secretary to the Commission

**TOWN COUNCIL ACTION ITEM  
STAFF SUMMARY  
JUNE 23, 2017 PLANNING AND ZONING COMMISSION MEETING**

**DATE:** June 23, 2017

**AGENDA ITEM NUMBER: 4**

**ACTION TO BE CONSIDERED:**

Consideration of Resolution No. PZ 07-17, Series of 2017;

A RESOLUTION BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, RECOMMENDING THE APPROVAL OF A LEVEL IV DEVELOPMENT APPLICATION FOR AN AMENDMENT TO BLOCK 6 OF THE EXISTING DILLON RIDGE MARKETPLACE PLANNED UNIT DEVELOPMENT FOR THE APPROVAL OF 3 APARTMENT BUILDINGS WITH A TOTAL OF 36 APARTMENT UNITS LOCATED ON BLOCK 6 OF THE DILLON RIDGE MARKETPLACE PLANNED UNIT DEVELOPMENT, DILLON, COLORADO; AND, SETTING FORTH DETAILS IN RELATION THERETO.

**SUMMARY:**

The Town of Dillon has received a Level IV Development Application for a an amendment to Block 6 of the existing Dillon Ridge Marketplace Planned Unit Development consisting of 36 apartment units located on Block 6, Dillon Ridge Marketplace Planned Unit Developed, Dillon, Colorado. The proposed Dillon Vistas Apartment Complex consists of three buildings with twelve (12) 2 bedroom units each for a total of 36 units. 18 of the units (50% of the units) will be set aside for workforce housing.

Block 6 is essentially a lot that was created with the approval of the Original Dillon Ridge Marketplace Planned Unit Development (P.U.D.). Block 6 sits along the north side of Lookout Ridge between the Skyline Cinemas parking lot to the west and the Lookout Ridge Townhome development along the east side of the property. The addresses for these apartment buildings have not yet been assigned by Summit County Government.

A Level IV application requires a public hearing between both the Planning and Zoning Commission and the Dillon Town Council for approval.

**PUBLIC NOTICE:**

The Town posted a sign of the public hearing on the site on Monday June 19, 2017. A newspaper ad was ran in the Summit Daily Journal on Friday June 16, 2017, and a mailing noticing the public hearing time and date was sent out on Friday June 16, 2017 to property owners within 300' of the proposed development. These dates are all within the required 7-14 day notice period before the Public hearing on June 28, 2017.

## **ZONING:**

The proposed project is located within the Mixed Use (MU) Zone District.

## **PROPOSED PLANNED UNIT DEVELOPMENT CHANGES TO THE UNDERLYING MIXED-USE ZONING DISTRICT:**

The developer is proposing the following dimensional changes which are allowed to be varied by the Town Municipal Code through a Planned Unit Development Process.

- A. The front yard setback along Lookout Ridge Road shall not be less than twelve feet (12'). The Code typically requires 25' in the Mixed Use Zone.
- B. Allow a 100% residential development without a commercial or retail component.

## **WORKFORCE HOUSING:**

The Developer is proposing that 50% of the units (18 units total) will be reserved for workforce housing and will be rented to people who can demonstrate that they work within Summit County a Minimum of 30 hours per week. The lease term shall be for a minimum of 180 days or 6 months. The maximum rental rate for each of these units shall be set by the current Summit Combined Housing Authority policies for a 2 bed (3 person) rental unit set at 100% AMI (Area Median Income) at the time the lease is executed.

The Developer will enter into a Workforce Housing Restrictive Covenant (“Restrictive Covenant”) with the Town of Dillon, this agreement will be approved by the Town Council at a future date.

## **COMPLIANCE WITH DILLON COMPREHENSIVE PLAN:**

The Developer believes that their proposal for a 100% residential project within the Mixed-Use Zone meets the Towns objectives for development by providing 36 rental units in Summit County to provide work force housing opportunities within the Town of Dillon and Summit County.

## **OPEN SPACE:**

The developer is providing a 10'x6' Deck for each unit which is 60 square feet. The mixed use zoning district requires that each unit have a minimum of 100 square feet of open space which can be constructed as individual open spaces or combined into a common community area.

The developer is proposing to construct a 1,440 square foot community space between buildings 2 and 3 as shown on the site plan. This accounts for the additional 40 square feet of open space required for each of the two-bedroom units. The Developer shall submit final construction plans for the 1,440 public community open space prior to the Town Council public hearing for this project.

**OFF-STREET PARKING LOT CONSIDERATIONS:**

The proposed thirty-six (36) two-bedroom units require 2 parking spaces per unit. The Town code therefore requires a minimum of 72 parking spaces. The developer is providing 73 parking spaces including three accessible parking spaces per Federal Accessibility rules.

Condition (F) of Section 2 of Resolution PZ 07-17, Series of 2017 will require the developer to redistribute the accessible parking so that at least one accessible parking space is close to each of the three buildings.

The maximum grade of the parking lot is at 4% which is in conformance with Town Code.

The applicant is proposing parking spaces that are 9’x18’ with 20’ drive aisles. Prior to review at the Town Council public hearing, the applicant will be required to widen the driveways to 24’ to meet the requirements of Section 16-6-60 of the Town Municipal Code. This means Buildings 2 and 3 will most likely be pushed 8’ closer to the east property line which will still meet code.

**BUILDING HEIGHT:**

The proposed height of each building from the finished floor of each building to the top of the ridge line is 37’-9 ¾” (37.81’). As measured by the Town of Dillon zoning code the building height for each building is as shown in the table below:

| <b>Building Identification</b>              | <b>1</b> | <b>2</b> | <b>3</b> |
|---|----------|----------|----------|
| High Existing Ground Elevation @ Building   | 9052.0’  | 9055.0’  | 9050.5’  |
| Low Existing Ground Elevation @ Building    | 9039.5’  | 9046.5’  | 9040.5   |
| Base Elevation                              | 9045.75’ | 9050.75’ | 9045.5’  |
| Allowable Building Height per Code (at 35’) | 9080.75’ | 9085.75’ | 9080.5’  |
| USGS Finished Floor Elevation               | 9041.50’ | 9041.80’ | 9041.50’ |
| USGS Top of Building Elevation (37’ 9.75”)  | 9079.31’ | 9079.61’ | 9079.31’ |
|   | Complies | Complies | Complies |

The buildings therefore are actually below the maximum building height allowed of 35’ as measured by Town Code.

**SIDE YARDS (SETBACKS):**

The Town Code requires the following setbacks in the Mixed Use Zone:

- Front Yard: 25’ Minimum
- Side Yard: 10’ Minimum
- Rear Yard: 20’ Minimum

The proposed buildings meet the setbacks required by code except Building 3. Building 3's front yard will be approved at 12' instead of the 25' minimum required by Town Code. The reduced setback is allowed by the Town of Dillon PUD process.

#### **LOT COVERAGE:**

The proposed development will be under the 40% maximum allowable footprint allowed by Town Code.

#### **UTILITIES:**

The proposed project is within the original Dillon Ridge Marketplace Planned Unit Development, so water and sewer services have already been stubbed into the property. A new fire hydrant will be installed and individual building water and sewer services will be constructed to each of the buildings.

#### **DRAINAGE:**

As part of the original PUD a storm sewer pipe was stubbed into Block 6 to accept the drainage from the development and pipe the storm water to the regional detention ponds for Dillon Ridge Marketplace constructed on the south side of U.S. Highway 6 between the Dillon Dam Road and East Anemone Trail.

#### **SITE RETAINING WALLS:**

The proposed project has a significant retaining wall complex located behind the buildings along the north and east sides of the buildings. The developer was trying to minimize the height of the development and chose to grade the site from street level at Lookout ridge up to the north.

The proposed retaining walls are proposed to be constructed with a Redi-Rock LedgeStone Textured segmental block wall system. The color will be an earthtone as shown in the attachments.

At the top of the retaining walls the Developer is proposing to build a buck and rail fence which is characteristic in this mountain environment. See the landscape plans for more details.

#### **PEDESTRIAN CONNECTIVITY:**

The proposed project provides a sidewalk connection between the onsite sidewalks and the sidewalk along the north side of Lookout Ridge in conformance with the code.

**ARCHITECTURAL GUIDELINES:**

The architect has worked with the Town of Dillon Architectural Guidelines and the Town's architectural consultant and believes his development is in conformance with the intent of the guidelines. See the attached checklists for additional information.

**ACTION REQUESTED:** Motion, Second, Roll Call Vote.

Resolutions require the affirmative vote of a majority of the members present.

**STAFF MEMBER RESPONSIBLE:** Dan Burroughs, Town of Dillon



**RESOLUTION NO. PZ 07-17**  
**Series of 2017**

**A RESOLUTION BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, RECOMMENDING THE APPROVAL OF A LEVEL IV DEVELOPMENT APPLICATION FOR AN AMENDMENT TO BLOCK 6 OF THE EXISTING DILLON RIDGE MARKETPLACE PLANNED UNIT DEVELOPMENT FOR THE APPROVAL OF 3 APARTMENT BUILDINGS WITH A TOTAL OF 36 APARTMENT UNITS LOCATED ON BLOCK 6 OF THE DILLON RIDGE MARKETPLACE PLANNED UNIT DEVELOPMENT, DILLON, COLORADO; AND, SETTING FORTH DETAILS IN RELATION THERETO.**

**WHEREAS**, the Planning and Zoning Commission of the Town of Dillon has received a Level IV Development Application for a an amendment to Block 6 of the existing Dillon Ridge Marketplace Planned Unit Development consisting of three apartment buildings with a total of 36 apartment units located on Block 6, Dillon Ridge Marketplace Planned Unit Developed, Dillon, Colorado; and

**WHEREAS**, following the required notice, a public hearing was held on June 28, 2017, before the Planning and Zoning Commission of the Town of Dillon on the amendment to Block 6 of the existing Dillon Ridge Marketplace Planned Unit Development, Dillon, Colorado; and

**WHEREAS**, following the public hearing the Planning and Zoning Commission of the Town of Dillon has made certain findings of fact regarding the application on the amendment to Block 6 of the existing Dillon Ridge Marketplace Planned Unit Development, Dillon; and

**WHEREAS**, the Planning and Zoning Commission of the Town of Dillon has determined that the Level IV Development Application on the amendment to Block 6 of the existing Dillon Ridge Marketplace Planned Unit Development, Dillon, Colorado is complete; and

**WHEREAS**, the Planning and Zoning Commission of the Town of Dillon wishes to recommend approval of the Level IV Development Application on the amendment to Block 6 of the existing Dillon Ridge Marketplace Planned Unit Development, Dillon, Colorado; and

**WHEREAS**, the Planning and Zoning Commission of the Town of Dillon has determined that certain conditions which are reasonable and necessary to and relate to impacts created by the amendment to Block 6 of the existing Dillon Ridge Marketplace Planned Unit Development, Dillon, Colorado.

**NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON, COLORADO, AS FOLLOWS:**

Section 1. That the Planning and Zoning Commission of the Town of Dillon, following the required notice, held a public hearing on June 28, 2017 on the application for an amendment to Block 6 of the existing Dillon Ridge Marketplace Planned Unit Development, Dillon, Colorado, and following said public hearing makes the following findings of fact:

- A. That the application for the Level IV Development Permit on an amendment to Block 6 of the existing Dillon Ridge Marketplace Planned Unit Development, Dillon, Colorado is complete.
- B. That the proposed amendment to Block 6 of the existing Dillon Ridge Marketplace Planned Unit Development, Dillon, Colorado meets the applicable Town of Dillon Municipal Code (“Code”) sections.
- C. That the proposed amendment to Block 6 of the existing Dillon Ridge Marketplace Planned Unit Development, Dillon, Colorado is compatible with the Commercial Zoning District and is compatible with surrounding uses.
- D. That the proposed amendment to Block 6 of the existing Dillon Ridge Marketplace Planned Unit Development, Dillon, Colorado is in general compliance with the Town of Dillon Comprehensive Plan.
- E. That the proposed amendment to Block 6 of the existing Dillon Ridge Marketplace Planned Unit Development, Dillon, Colorado provides a significant workforce housing component which allows this parcel to develop as a 100% residential project without a commercial or retail component.

Section 2. That the Planning and Zoning Commission of the Town of Dillon hereby recommends to the Town Council of the Town of Dillon the approval of the Level IV Development Permit for an amendment to Block 6 of the existing Dillon Ridge Marketplace Planned Unit Development, Dillon, Colorado with the following conditions:

- A. The Developer shall enter into Block 6 Planned Unit Development Agreement Amendment to the Dillon Ridge Marketplace Planned Unit Development (“Agreement”) with the Town of Dillon for the proposed amendment to Block 6 of the existing Dillon Ridge Marketplace Planned Unit Development, Dillon, Colorado project and meeting all the obligations and requirements contained therein prior to issuance of any development permits.
- B. The Developer shall enter into a Workforce Housing Restrictive Covenant (“Restrictive Covenant”) with the Town of Dillon for the proposed amendment to Block 6 of the existing Dillon Ridge Marketplace Planned Unit Development, Dillon, Colorado containing the provisions as follows:

1. Developer shall dedicate in perpetuity eighteen (18) deed restricted units (six [6] non-end units in each of the three buildings), equaling fifty percent (50%) of the total units in the Development to serve as local workforce housing. Local workforce housing is defined as persons living and working in Summit County at a minimum of 30 hours a week.
  2. The maximum rental rate for each of these units shall be set by the Summit Combined Housing Authority 2017 Summit County Area Median Income (AMI) policies as the floor for a 2 bed (3 person) rental unit set at 100% AMI (Area Median Income) at the time the lease is executed.
  3. The Workforce units shall not be rented for less than 6 months or 180 days at a time.
- C. The Developer shall adhere to the materials and colors presented at the public hearing, a copy of which is on file in the Town Engineer's office.
  - D. The Parking lot drive aisles shall be expanded from a 20' width to a 24' width to meet Town Code. The developer shall revise the site and landscaping plans accordingly and resubmit prior to the Town Council review of the PUD.
  - E. The front yard setback along Lookout Ridge Road shall not be less than twelve feet (12').
  - F. The three accessible parking spaces shall be redistributed so that there is one accessible parking space next to each building.
  - G. The Developer shall get site plan approval from the Lake Dillon Fire Rescue prior to the Town Council public hearing for review of this Level IV application.
  - H. The Developer shall provide all trees and shrubs in conformance with Town Code.
  - I. The Developer shall submit final construction plans for the 1,440 public community open space prior to the Town Council public hearing for this project.

APPROVED AND ADOPTED THIS 28<sup>TH</sup> DAY OF JUNE, 2017 BY THE  
PLANNING AND ZONING COMMISSION OF THE TOWN OF DILLON,  
COLORADO.

**PLANNING AND ZONING COMMISSION,  
TOWN OF DILLON**

By: \_\_\_\_\_

Nathan Nosari, Chairperson

ATTEST:

By: \_\_\_\_\_  
Corrie Woloshan, Secretary to the Commission



June 20, 2017  
AAPC # 1611

**Dillon Ridge Vistas  
Block 6 (Dillon Ridge Marketplace)**

**Design Guidelines Narrative**

We are proposing a 36-unit residential project on Block 6, Dillon Ridge. There are (3) buildings, each is 3-story with 12 units. Every unit has expansive mountain views from the primary living spaces. The bedrooms are located on the rear facing, private side. The Town of Dillon Design Standards checklist is attached. Many of the checklist sections are oriented towards a mixed-use project with a commercial/retail ground floor. These items are not applicable to an all residential project as we propose. These are indicated on the checklist with an N/A.

The building elevations are organized in a three part scheme, base, middle, and top. The first story is articulated with a vertical board and batten base. The second and third stories, middle, are the horizontal primary siding. The roof creates a dominant top layer, or cap. The building form is thus expressed; minor base, major middle, and minor top. The ratio is 1:2:1.

The building weight and structure is expressed as a solid connection to the ground, due to the all residential program. The stairs are clearly expressed as a recess with a gable roof cap. Each unit has a deck with timber structure and a shed roof cap.

Since our site is closer to the Town entrance and not the lake, we have adopted the "Mountain" contextual character. Dillon Ridge Vistas provides an appropriate transition from the existing commercial Movie Theater to the all residential Lookout Ridge development.



# 2 CHARACTER & ENVIRONMENT

## DESIGN STANDARDS CHECKLIST

| SECTION  | APPLICANT<br>Y/N | P&Z<br>Y/N | P&Z<br>COMMENTS |
|--|------------------|------------|-----------------|
| DRAW AUTHENTICITY FROM HISTORIC ARCHITECTURE   |                  |            |                 |
| Symbolic connection to historic architecture   | Y                |            |                 |
| DEFINE THE PUBLIC DOMAIN   |                  |            |                 |
| 2-story datum at buildings taller than 2 stories                                       | Y                |            |                 |
| Building base use(s) meets intent of acceptable uses                                   | N/A              |            | All Residential |
| Base height relates to 2-story datum, where possible                                   | N/A              |            | Not Commercial  |
| 15' floor-to-floor height at grade level   | N/A              |            | Not Commercial  |
| Window sills no higher than 36"  | Y                |            |                 |
| Storefront mullion colors to be dark (other finishes approved on a case-by-case basis) | N/A              |            | Not Commercial  |
| Glazing meets or exceeds 60% transparent/40% solid ratio at <u>primary façade</u> base | N/A              |            | Not Commercial  |
| Simply detailed storefront design  | N/A              |            | Not Commercial  |
| Roofs/awnings designed for snowmelt mitigation   | Y                |            |                 |
| Fabric awning slope 1:3  | N/A              |            | none            |
| Permanent awning slope 3:12  | N/A              |            | none            |
| Primary façade to have main building entrance  | Y                |            |                 |
| (2) primary façades for buildings with (3) façades visible from public right-of-way    | Y                |            |                 |
| Façade materials should wrap corners a min. of 24"                                     | Y                |            |                 |
| Blank walls visible to the public are not acceptable                                   | Y                |            |                 |
| CREATE COMPLEMENTARY DEVELOPMENTS  |                  |            |                 |
| National brands adoption of these Guidelines for exterior architectural design         | N/A              |            | Not Commercial  |
| TAKE ADVANTAGE OF THE CLIMATE  |                  |            |                 |
| Conceal rooftop utilities from sight   | N/A              |            | none            |



# 3 BUILDING FORM & ARTICULATION

## DESIGN STANDARDS CHECKLIST

| SECTION   | APPLICANT<br>Y/N | P&Z<br>Y/N | P&Z<br>COMMENTS         |
|---|------------------|------------|-------------------------|
| <b>EXPRESS THE BASE, MIDDLE, &amp; TOP</b>  |                  |            |                         |
| Articulate building façades into Base, Middle, & Top  | Y                |            |                         |
| Description of Base, Middle, & Top in Design Narrative  | Y                |            |                         |
| No overly complex roofs or incompatible roof styles   | Y                |            |                         |
| Use of proportional rules for Base, Middle, & Top   | Y                |            |                         |
| <b>EXPRESS THE BUILDING WEIGHT &amp; STRUCTURE</b>  |                  |            |                         |
| Description of contextual influence emphasis relative to apparent weight: Mountain or Lake                                    | Y                |            |                         |
| <b>BUILDING HEIGHTS &amp; VIEW CORRIDORS</b>  |                  |            |                         |
| Modulate façades above 2-story datum to differentiate from building base  | Y                |            |                         |
| <b>EXPRESS THE ROOF FORM</b>  |                  |            |                         |
| Emphasize Top layer that caps building volumes below  | Y                |            |                         |
| 5:12 minimum, and 12:12 maximum roof slope (steeper is acceptable if <u>Jewel building</u> )                                  | NO               |            | 4:12 & 8:12 roof slopes |
| 3:12 min. roof slope for projections/permanent awnings  | N/A              |            |                         |
| No mansard-style roof forms   | Y                |            |                         |
| Simple, powerful, character-defining roof(s)  | Y                |            |                         |
| Dormers set in a consistent rhythm, set 3' back from eave edge or projecting past eave edge                                   | Y                |            |                         |
| Shed and gable roofs: 24" min. roof overhang at primary façades, 18" min. roof overhang at secondary façades                  | Y                |            |                         |
| Use of structural beams, outriggers, and/or brackets at 18"+ roof overhangs. 2"x2" minimum dimension for exposed support ends | Y                |            |                         |
| Roof runoff mitigation plan   | Y                |            |                         |
| <b>CREATE RECESSES &amp; PROJECTIONS</b>  |                  |            |                         |
| Use of projections to protect building entrances  | Y                |            |                         |
| Concealed drainage at projections   | NO               |            |                         |



# 4 CRAFT, MATERIALS, & COLORS

## DESIGN STANDARDS CHECKLIST


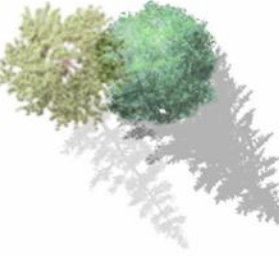







| SECTION   | APPLICANT<br>Y/N | P&Z<br>Y/N | P&Z<br>COMMENTS |
|---|------------------|------------|-----------------|
| <b>HIGHLIGHT THE CRAFT</b>  |                  |            |                 |
| Utilize or mimic authentic fastening and joinery methods  | N                |            |                 |
| Pragmatic and highly crafted architectural features   | N                |            |                 |
| <b>USE LOCAL MATERIALS &amp; TEXTURES</b>   |                  |            |                 |
| Minimum of (2) primary façade materials   | Y                |            |                 |
| Stone heights min. 4"H, with preference for 8-12"H  | NO               |            |                 |
| Materials wrap building corners min. of 24"   | Y                |            |                 |
| Ashlar pattern at stone cladding  | N/A              |            |                 |
| Rough-sawn or hand-hewn finish at timbers   | Y                |            |                 |
| Use of acceptable wood cladding patterns  | Y                |            |                 |
| Use of metal cladding for roof and/or wall accent only  | Y                |            |                 |
| Use of acceptable metal wall and/or roof patterns   | Y                |            |                 |
| Clear glazing ratio of 60% min. glazing to 40% solid  | N/A              |            | Not Commercial  |
| Clear glazing with no more than 10% light reduction. No opaque films or glass at <u>public domain</u> .   | Y                |            |                 |
| Stucco at building Middle layer, not Base layer   | N/A              |            | No stucco       |
| <b>COLOR PALETES &amp; ACCENTS</b>  |                  |            |                 |
| Darker tone storefront mullion color  | N/A              |            | Not Commercial  |
| Natural color palette with combination of marine accents (if Lake style influences)   | Y                |            |                 |
| Façade colors of medium to dark natural tones. Bright colors only used for interventions or minor focal elements.   | Y                |            |                 |
| Roof colors of dark natural tones (unless galvanized), muted, low reflectivity, natural tones. Bright colors only used for interventions or minor focal elements. | Y                |            |                 |
| 10% maximum area usable for accent colors on façades  | Y                |            |                 |



**DILLON RIDGE MARKETPLACE**  
 Block 6  
 Dillon, CO

OWNER:  
 Compass Home Development, LLC.  
 P.O. Box 5265  
 Frisco, CO  
 970.418.1598

**LEGEND**

-  DECIDUOUS TREES
-  EVERGREEN TREES
-  DECIDUOUS SHRUBS
-  NATIVE GRASS SEED
-  SOD LAWN
-  WOOD MULCH LANDSCAPE BED
-  RIVER ROCK COBBLE MULCH
-  RETAINING WALLS
-  FENCE



CHECKED BY:  
 DRAWN BY:  
 LN, LM



LEGAL DESCRIPTION  
A 20' PUBLIC WATER EASEMENT

A PARCEL OF LAND BEING A PORTION OF BLOCK 6, DILLON RIDGE MARKETPLACE, REPLAT B; TOWN OF DILLON, SUMMIT COUNTY, COLORADO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WESTERLY BOUNDARY LINE OF SAID BLOCK 6, WHENCE THE NORTHEAST CORNER OF SAID BLOCK 6 BEARS N00°08'06"E 153.83 FEET DISTANT; THENCE ALNG THE FOLLOWING 6 COURSES:

1. S89°14'27"E A DISTANCE OF 42.59 FEET;
2. N26°35'54"W A DISTANCE OF 44.22 FEET;
3. N63°24'06"E A DISTANCE OF 20.00 FEET;
4. S26°35'54"E A DISTANCE OF 64.22 FEET;
5. S63°27'55"W A DISTANCE OF 24.93 FEET;
6. N89°14'27"W A DISTANCE OF 47.17 FEET TO THE SAID WESTERLY BOUNDARY LINE OF BLOCK 6;

THENCE N00°08'06"E A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING, CONTAINING 2,231 SQUARE FEET OR 0.051 ACRE, MORE OR LESS.

*Robert R. Johns*  
ROBERT R. JOHNS  
COLORADO PLS NO. 26292



DATE

*May 30, 2017*

PROJECT NO.  
PREPARED FOR:

21125-474  
COMPASS HOMES

6471/17/152

P.O. BOX 589  
Silverthorne, CO 80498

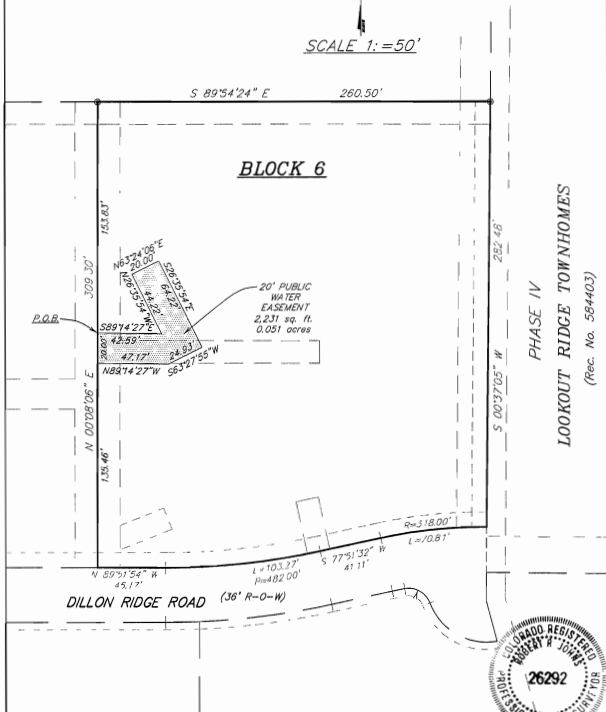


Phone 970-468-6281  
www.rangewestinc.com

A LEGAL DESCRIPTION EXHIBIT MAP FOR  
 A 20' PUBLIC WATER LINE EASEMENT  
 BLOCK 6, DILLON RIDGE MARKETPLACE, REPLAT B  
 TOWN OF DILLON, SUMMIT COUNTY, COLORADO



SCALE 1: = 50'



R—A—N—G—E—W—E—S—T  
 INC.  
 ENGINEERS & SURVEYORS

P.O. BOX 589  
 SILVERTHORNE, CO 80498

PHONE 970-468-6281  
 DENVER DIRECT 303-623-0426

# DILLON RIDGE VISTAS

## BLOCK 6

### DILLON RIDGE MARKETPLACE

#### TOWN OF DILLON, SUMMIT COUNTY, COLORADO FINAL SITE PLAN AND PLAT DOCUMENTS

36 UNITS

#### AGENCY CONTACT LIST

**OWNER/DEVELOPER**  
SUMMIT HOMES DEVELOPMENT  
PO BOX 5265  
FRISCO, CO 80443  
TIM CRANE  
PHONE: (970) 547-5047  
FAX: (970) 513-9375

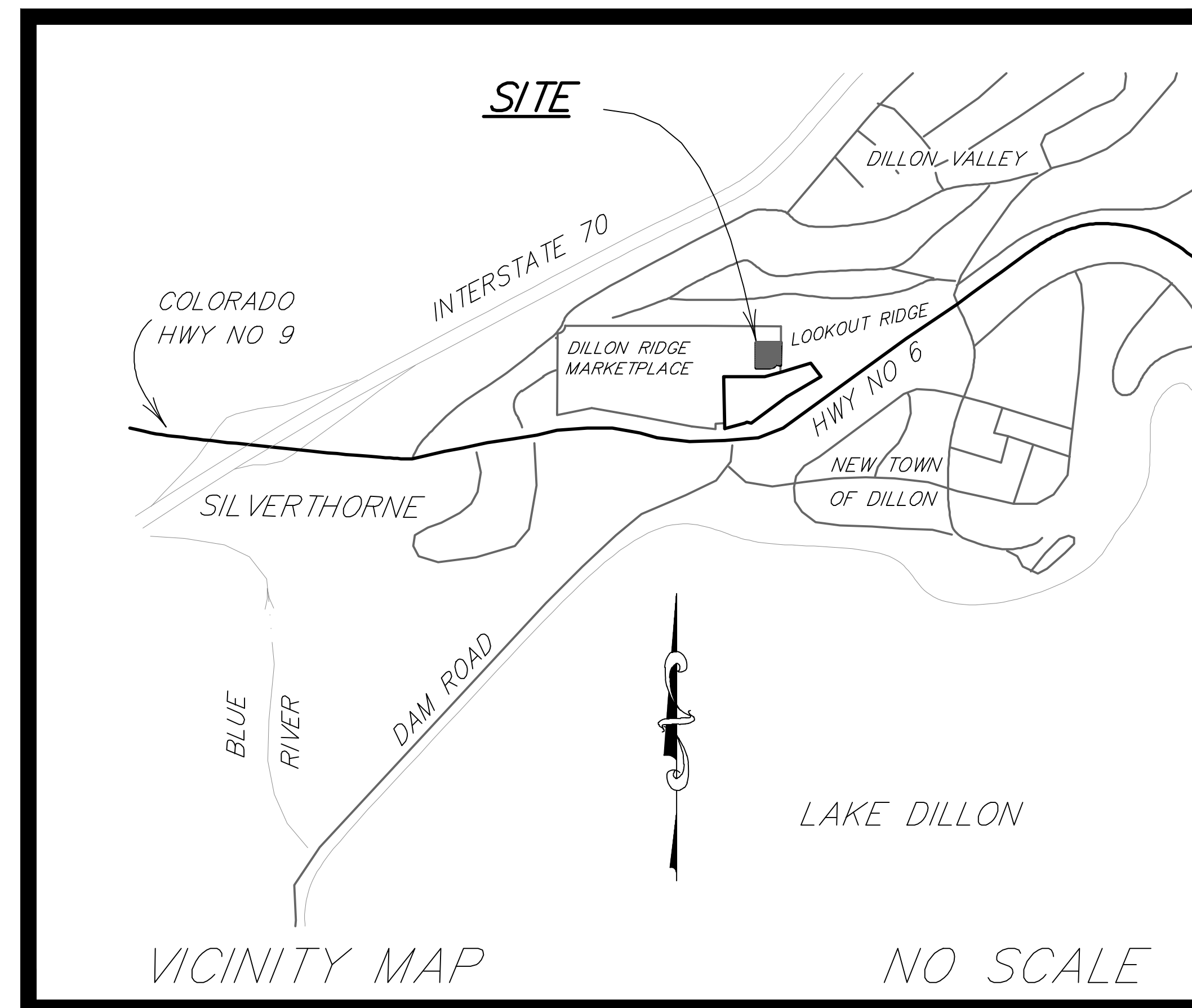
**ARCHITECT**  
ARAPAHOE ARCHITECTS. P.C.  
322C N MAIN STREET, BOX 4780  
BRECKENRIDGE, CO 80424  
BOBBY CRAIG  
PHONE: (970) 453-8474  
FAX: (970) 453-8475

**CIVIL ENGINEER**  
TEN MILE ENGINEERING, INC.  
PO BOX 1785  
FRISCO, CO 80443  
JOSEPH E. MAGLICIC P.E.  
PHONE: (970) 485-5773

**GEOTECHNICAL**  
CTL THOMPSON  
GEORGE BENEKE  
PHONE: (970) 409-9670

**ELECTRIC & GAS**  
XCEL ENERGY  
200 W 6TH STREET, PO BOX 1819  
SILVERTHORNE, CO 80498  
PHONE: (970) 262-4050  
FAX: (970) 262-4038

**LAKE DILLON FIRE - RESCUE**  
P.O. BOX 4428  
DILLON, CO. 80435  
STEVEN SKULSKI  
PHONE: (970) 513-4202  
FAX: (970) 513-4250

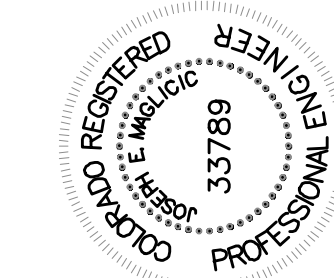


#### SHEET LIST TABLE

| SHEET NUMBER | SHEET TITLE                                    |
|--------------|--|
| 01           | COVER SHEET                                    |
| 02           | GENERAL NOTES                                  |
| 03           | SITE LAYOUT AND EASEMENT PLAN                  |
| 04           | EROSION CONTROL & CONSTRUCTION MANAGEMENT PLAN |
| 05           | EROSION CONTROL DETAILS                        |
| 06           | EROSION CONTROL DETAILS                        |
| 07           | EROSION CONTROL DETAILS                        |
| 08           | GRADING PLAN                                   |
| 09           | DRAINAGE PLAN                                  |
| 10           | OVERALL UTILITY PLAN                           |
| 11           | SEWER DETAILS                                  |
| 12           | WATER DETAILS                                  |
| 13           | WATER DETAILS                                  |

### TEN MILE ENGINEERING, INC.

Professional Civil Engineers  
Po Box 1785  
Frisco, CO 80443  
970.485.5773  
tenmileengineer@aol.com



ROADWAY GENERAL NOTES:

- 1. EARTHWORK OPERATIONS SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT... 2. PAVING SHALL NOT START UNTIL SUBGRADE COMPACTING TESTS ARE TAKEN... 3. THE CONTRACTOR SHALL SAW-CUT ALL EXISTING PAVEMENT... 4. PORTLAND CEMENT CONCRETE SHALL MEET THE FOLLOWING REQUIREMENTS... 5. ROADWAY RETAINING WALL VERTICAL AND HORIZONTAL INFORMATION HAVE BEEN ESTABLISHED AS PART OF THESE ROADWAY PLANS... 6. COMPACTION TESTING FOR THE BASE COURSE IN THE ROADWAY SHALL MEET 95% OF MODIFIED PROCTOR (ASTM D-1557) THE MATERIAL BEING WITHIN 2.0 PERCENT OF OPTIMUM MOISTURE... 7. 6" VERTICAL CURB SHALL BE CURB AND CUTTER TYPE 2 (SECTION IIB) CDOT M-6091. 8. TYPE I DELINEATORS PER CDOT 5-612-1. 9. DURING EARTHWORK OPERATION GEOTECHNICAL ENGINEER SHALL ASSESS ACTUAL SUB-SURFACE CONDITIONS AND REQUEST ADDITIONAL REQUIREMENTS IF NECESSARY.

WATER GENERAL NOTES (CONTINUED):

- 12. CHLORINATION ALL MAIN EXTENSIONS AND PRIVATE PIPE EXTENSIONS SHALL BE CHLORINATED IN ACCORDANCE WITH AWWA C651... THE CHLORINATION OF THE FINISHED PIPELINE SHALL BE DONE PRIOR TO THE HYDROSTATIC TESTING... CHLORINE TABLETS MAY BE USED FOR DISINFECTION IN 12-INCH AND SMALLER PIPE... PIPE LENGTH PIPE DIAMETER (INCHES) (FEET) 6-8-12 13 OR LESS 2 2 5 8 2 3 7 20 2 3 7 \*BASED ON 3 3/4" GRAM AVAILABLE CHLORINE PER TABLET... AFTER THE PIPE IS FILLED WITH WATER AND CHLORINE, THE CHLORINATED WATER SHALL BE HELD IN CONTACT WITH THE PIPE FOR 24 HOURS... 13. HYDROSTATIC TESTING NO HYDROSTATIC TESTS SHALL BE MADE ON ANY PORTION OF THE PIPELINE UNTIL FIELD PLACED CONCRETE HAS HAD ADEQUATE CURING TIME... CONCRETE SHALL BE CURED BY A METHOD RECOMMENDED BY ACI 308... TOG SHALL BE NOTIFIED 24 HOURS IN ADVANCE OF TESTING... ONLY THE FOLLOWING METHODS ARE ACCEPTABLE FOR SUPPLYING POTABLE WATER FOR HYDROSTATIC TESTING... 1. WATER MAY BE TAKEN FROM A NEARBY PRESSURIZED WATER SOURCE... 2. WATER MAY BE DELIVERED TO THE SITE IN A CHLORINATED WATER TRUCK... 3. ANY PREVIOUSLY TESTED, CHLORINATED AND ACCEPTED WATER MAIN, WHICH IS PRESSURIZED AND IS TO SERVE THE NEW MAIN EXTENSION, MAY BE TAPPED ON THE PRESSURIZED SIDE OF THE CLOSED VALVE... IN ANY EVENT, THE METHOD OF SUPPLYING WATER AS WELL AS THE SOURCE OF WATER FOR HYDROSTATIC TESTING MUST BE CERTIFIED AND APPROVED BY TOD... TOD WILL FURNISH ONLY THE CALIBRATED METER BUT NOT THE PUMP FOR TESTING... ALL BULKHEADS, PUMPS, TAPS, AND APPURTENANCES NECESSARY TO FILL THE PIPELINE AND MAINTAIN THE REQUIRED PRESSURE SHALL BE IN PLACE... AFTER ALL VISIBLE LEAKS HAVE BEEN STOPPED, THE FULL TEST-PRESSURE SHALL BE MAINTAINED FOR 2 CONTINUOUS HOURS... 14. MINIMUM COVER WITHIN STREETS IS 9.5 FEET AND 8.5 FEET IN UNPAVED LOCATIONS... 15. VALVES SHALL BE RESILIENT SEAT NRS GATE VALVES AND SHALL OPEN-LEFT (MUELLER, US, WATEROUS OR CLOW BRAND RESILIENT WEDGE VALVES ONLY)... 16. VALVE BOXES SHALL BE OVAL BASE BOTTOM TYPE... 17. ALL FIRE HYDRANTS SHALL BE WATEROUS "PACER" WITH 34-INCH MOUNTAIN STANDARD FLANGE MEETING THE FOLLOWING REQUIREMENTS... NOZZLE 5-1/4 INCH INLET 6 INCH FOR MECHANICAL JOINT DEPTH OF BURY 9'-6" OR 8'-6" (AS REQUIRED TO MEET THE WATERLINE COVER) OPERATING NUTI 1 INCH PENTAGON OPEN LEFT(CW) OUTLETS TWO 2-1/2 INCH, ONE 5-1/4 INCH PUMPER NOZZLE (THREADS TO MATCH EXISTING) THREADS NATIONAL STANDARD CAP WITH PENTAGON NUT RED (ALL ABOVE GROUND PARTS) COLOR RED (ALL ABOVE GROUND PARTS) THRUST RESTRAINT BOTTOM THRUST BLOCK AND 2-3/4" TIE RODS FROM MAIN TEE TO HYDRANT BOTTOM; ELEVATION OF NOZZLE 42" ± 3" OPERATING NUT ABOVE FINISHED GROUND SURFACE AT TRAFFIC FLANGE ALL HYDRANTS TO BE SHOP PRIMED AND PAINTED RED WITH TWO BOLLARDS. 8. WATER METER KIT WILL BE PROVIDED BY TOWN... 9. AIR RELEASE VALVES (ARV'S) SHALL BE APCO MODEL NO. 143 C COMBINATION AIR/VACUUM VALVE OR APPROVED EQUAL... 10. MECHANICAL JOINT RESTRAINT DEVICES SHALL BE: FOR DUCTILE IRON PIPE: MEGALUG 1700 SERIES ROMAL RON GRIP UNI-FLANGE 1400 SERIES STAR GRIP 3000 SERIES SIGMA-LOCK FOR C900 PVC PIPE: IBECE IRON INC. SERIES 1500 11. PIPE JOINT RESTRAINT DEVICES, THE RODS AND THRUST BLOCKS SHALL BE INSTALLED PER DETAILS. ALL RESTRAINT RODS AND HARDWARE ARE TO BE STAINLESS STEEL OR CORTEN.

SANITARY SEWER GENERAL NOTES:

- 1. ALL SANITARY SEWER CONSTRUCTION SHALL CONFORM TO TOWN OF DILLON SEWER SYSTEM CRITERIA DATED... 2. ALL SEWER MAINS AND SERVICES SHALL BE SDR 26 (UNLESS OTHERWISE NOTED). 3. ALL MANHOLE RIMS WITHIN THE 100-YEAR FLOOD PLAIN SHALL BE SET AT THE 100-YEAR FLOOD PLAIN ELEVATION AND SHALL HAVE GASKETED BOTTOM LIDS. 4. MANHOLES SHALL BE WRAPPED WITH BITUTHENE. 5. SANITARY SEWER BEDDING AND PIPE ZONE BACKFILL SHALL BE 3/4" TO 1" SCREENED ROCK OR TOWN OF DILLON APPROVED ALTERNATE. 6. PIPELINE FLUSHING... 7. SEWER LINE ALIGNMENT AND GRADE VERIFICATION... 8. LEAKAGE... A. PREPARATION FOR TESTS... B. PROCEDURE OF TEST... C. AFTER THE TEMPERATURE HAS STABILIZED... D. THE TIME ELAPSED SHALL NOT BE LESS THAN THE FOLLOWING: PIPE SIZE TIME (INCHES) (MINUTES) 6 5 8 5 10 6.5 12 7.5 E. BRACE ALL PLUGS SUFFICIENTLY TO PREVENT BLOWOUTS... F. PROVIDE PRESSURIZING EQUIPMENT WITH A RELIEF VALVE SET AT 5 PSI TO AVOID OVER-PRESSURIZING AND DAMAGING AN OTHERWISE ACCEPTABLE LINE. 9. MANHOLE VISUAL EXAMINATION... 10. MANHOLE LEAKAGE TEST (VACUUM)... A. MANHOLES SHALL BE VACUUM TESTED... B. CARE SHALL BE TAKEN TO EFFECT A SEAL... C. A VACUUM OF 10 INCHES OF MERCURY SHALL BE DRAWN... D. ACCEPTANCE SHALL BE DEFINED AS WHEN THE TIME TO DROP TO 9 INCHES MEETS OR EXCEEDS THE FOLLOWING: TIME TO DROP 1" HG DIA 4 FT. 120 SECONDS 5 FT. 120 SECONDS 6 FT. 120 SECONDS E. IF THE MANHOLE FAILS THE TEST... F. IF PREFORMED PLASTIC GASKETS ARE PULLED OUT... 11. ALL SEWER LINE WORK SHALL BE INSPECTED... 12. AS BUILT DRAWINGS SHALL BE PROVIDED... 13. CLAY CHECK DAMS MAY BE REQUIRED... 14. ALL SEWER SERVICES ARE TO BE INSTALLED... 15. SEWER LINES ARE TO BE INSTALLED WITH A MINIMUM COVER OF 9 FT. - 8 IN. ANY DEPTH LESS THAN 9 FT., INSULATION WILL BE REQUIRED... OVERALL GENERAL NOTES: 1. THE CONTRACTOR SHALL OBTAIN... 2. TRENCHES SHALL BE EXCAVATED... 3. ALL STREET STATIONING IS ALONG THE CENTERLINE... 4. THE PROFILE GRADE ON THE PLANS IS ALONG THE ROADWAY CENTERLINE... 5. THE CONTRACTOR SHALL HAVE ON HIS POSSESSION... 6. LIMITS OF WORK... 7. ALL CONSTRUCTION SHALL CONFORM... 8. THE CONTRACTOR SHALL NOTIFY THE TOWN... 9. CONTRACTOR SHALL GIVE 48 HOURS NOTICE... 10. ALL EXCAVATION SHALL COMPLY WITH OSHA SAFETY REGULATIONS. 11. MATERIALS SHALL BE INSPECTED AND ACCEPTED...

STANDARD EROSION AND SEDIMENT CONTROL NOTES:

- 1. The contractor must notify Town of Dillon at least 48 hours prior to starting construction. 2. All grading, erosion, and sediment control must conform with approved plans. 3. The landowner is responsible for obtaining a permit for Storm Water Discharges Associated with Construction Activity from the Colorado Department of Public Health and Environment... 4. Erosion control measures must be installed prior to grading activities. 5. All temporary and permanent soil erosion and sediment control practices must be maintained and repaired... 6. All topsoil, where physically practicable, must be salvaged... 7. The landowner and/or contractor must immediately take all necessary steps to control increased sediment discharge. 8. The landowner and/or contractor is responsible for clean up and removal of all sediment and debris from all drainage infrastructure... 9. The landowner and/or contractor must take reasonable precautions to ensure that vehicles do not track or spill earth materials... 10. The landowner and/or contractor is responsible for controlling waste such as discarded building materials, concrete truck washout, chemicals, litter, and sanitary waste... 11. If it is necessary to remove material in excess of 300 cubic yards and/or 10,000 square feet of land disturbance area... 12. The storm water volume capacity of detention ponds must be restored... 13. Soil stabilization measures must be applied within 30 days... 14. Fugitive dust emissions resulting from grading activities and/or wind shall be controlled... 15. The erosion and sediment control plan may be modified by the Town of Dillon...

STORM SEWER GENERAL NOTES

- 1. LOCATION AND ELEVATION OF EXISTING STORM SEWER AND CULVERTS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO START OF CONSTRUCTION... 2. STORM SEWER SHALL BE SMOOTH WALLED HDPE (HIGH DENSITY POLYETHYLENE). 3. ALL CULVERTS SHALL HAVE END SECTIONS ON BOTH THE UPSTREAM AND DOWNSTREAM ENDS OF THE PIPE UNLESS OTHERWISE NOTED... 4. STORM SEWER BEDDING AND PIPE ZONE BACKFILL SHALL BE 3/4" TO 1" ROAD BASE OR TOWN OF DILLON APPROVED ALTERNATE. 5. PIPE LENGTHS FOR STORM SEWER ARE APPROXIMATE HORIZONTAL DISTANCES FROM END SECTION TO END SECTION... 6. REFER TO THE GEOTECHNICAL REPORT "PAVEMENT THICKNESS DESIGN RECOMMENDATIONS" AND THE STORM SEWER DETAILS ON SHEET D101 FOR TRENCH STABILIZATION, BACKFILL PLACEMENT, COMPACTION, AND JOISTURE REQUIREMENTS... 7. INLETS SHALL BE TYPE C, CDOT M-604-10, TYPE D, CDOT M-604-11, OR TYPE R, CDOT M-604-12.

WATER GENERAL NOTES:

- 1. ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE TOWN OF DILLON WATER SYSTEMS CRITERIA DATED DECEMBER 2005... 2. ALL WATER LINE IS TO BE EITHER CLASS 52 DUCTILE IRON PIPE OR C900 PVC PRESSURE WATER PIPE... 3. SERVICE LINES SHALL BE 1" HDPE PURE-CORE SDR 9 CTS PIPE... 4. MINIMUM COVER WITHIN STREETS IS 9.5 FEET AND 8.5 FEET IN UNPAVED LOCATIONS... 5. VALVES SHALL BE RESILIENT SEAT NRS GATE VALVES AND SHALL OPEN-LEFT (MUELLER, US, WATEROUS OR CLOW BRAND RESILIENT WEDGE VALVES ONLY)... 6. VALVE BOXES SHALL BE OVAL BASE BOTTOM TYPE... 7. ALL FIRE HYDRANTS SHALL BE WATEROUS "PACER" WITH 34-INCH MOUNTAIN STANDARD FLANGE MEETING THE FOLLOWING REQUIREMENTS: NOZZLE 5-1/4 INCH INLET 6 INCH FOR MECHANICAL JOINT DEPTH OF BURY 9'-6" OR 8'-6" (AS REQUIRED TO MEET THE WATERLINE COVER) OPERATING NUTI 1 INCH PENTAGON OPEN LEFT(CW) OUTLETS TWO 2-1/2 INCH, ONE 5-1/4 INCH PUMPER NOZZLE (THREADS TO MATCH EXISTING) THREADS NATIONAL STANDARD CAP WITH PENTAGON NUT RED (ALL ABOVE GROUND PARTS) COLOR RED (ALL ABOVE GROUND PARTS) THRUST RESTRAINT BOTTOM THRUST BLOCK AND 2-3/4" TIE RODS FROM MAIN TEE TO HYDRANT BOTTOM; ELEVATION OF NOZZLE 42" ± 3" OPERATING NUT ABOVE FINISHED GROUND SURFACE AT TRAFFIC FLANGE ALL HYDRANTS TO BE SHOP PRIMED AND PAINTED RED WITH TWO BOLLARDS.

DISTURBED AREA SEEDING NOTES:

- 1. All areas to be seeded will be properly prepared to provide a friable soil surface in the upper 6 inches, minimum. 2. Areas to be seeded will be drill seeded with the appropriate mix (Table 2 or 3) at the rates specified. 3. Seeded areas will be mulched at a rate of at least two tons per acre of certified, weed-free straw mulch... 4. Straw mulch will be secured by use of m-binder tackifier at a rate of 3 pounds/1,000 square feet on slopes flatter than 2:1. Mulch will be secured with netting on slopes steeper than 3:1.

SEED MIX TYPE I TABLE with columns: COMMON NAME, SCIENTIFIC NAME, % MIX, POUNDS PLS/ACRE. Includes rows for Idaho Fescue, Alpine Bluegrass, Western Wheatgrass, June Grass, Arizona Fescue, White Yarrow, and Total.

- 1. Mix should be drill seeded, except on steep slopes where broadcast or hydroseeding are acceptable at 200 and 150 percent of rate shown, respectively. 2. The following wildflowers may also be seeded in certain areas. -Blanket Flower 0.8 Pounds PLS/Acre -Lupine 4.4 Pounds PLS/Acre -Firecracker Penstemon 0.2 Pounds PLS/Acre -California Poppy 0.4 Pounds PLS/Acre 3. Divide Pounds PLS/Acre by 43.5 to obtain Pounds PLS/1,000 SQ. Ft.

SEED MIX TYPE II TABLE with columns: COMMON NAME, SCIENTIFIC NAME, % MIX, POUNDS PLS/ACRE. Includes rows for Western Wheatgrass, Redtop, Tufted Hairgrass, Idaho Fescue, Alpine Bluegrass, and Total.

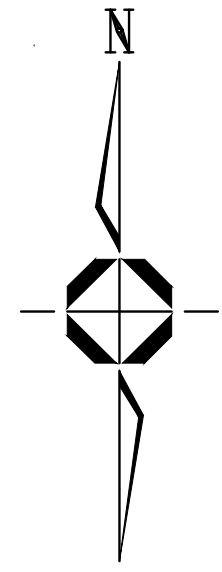
- 1. Mix should be drill seeded, except on steep slopes where broadcast or hydroseeding are acceptable at 200 and 150 percent of rate shown, respectively. 2. Divide Pounds PLS/Acre by 43.5 to obtain Pounds PLS/1,000 SQ Ft.

Revision/Issue table with columns: No., Revision/Issue, Date, Description. Includes entries for Final Site Plan/Plan & Plat Submission and TOS Final Site Plan & Plat Submission.

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DILLON RIDGE VISTAS BLOCK 6 DILLON RIDGE MARKETPLACE TOWN OF DILLON, COLORADO GENERAL NOTES

Project: DILLON RIDGE VISTAS, Date: 4/7/17, Sheet: 2, Scale: NTS

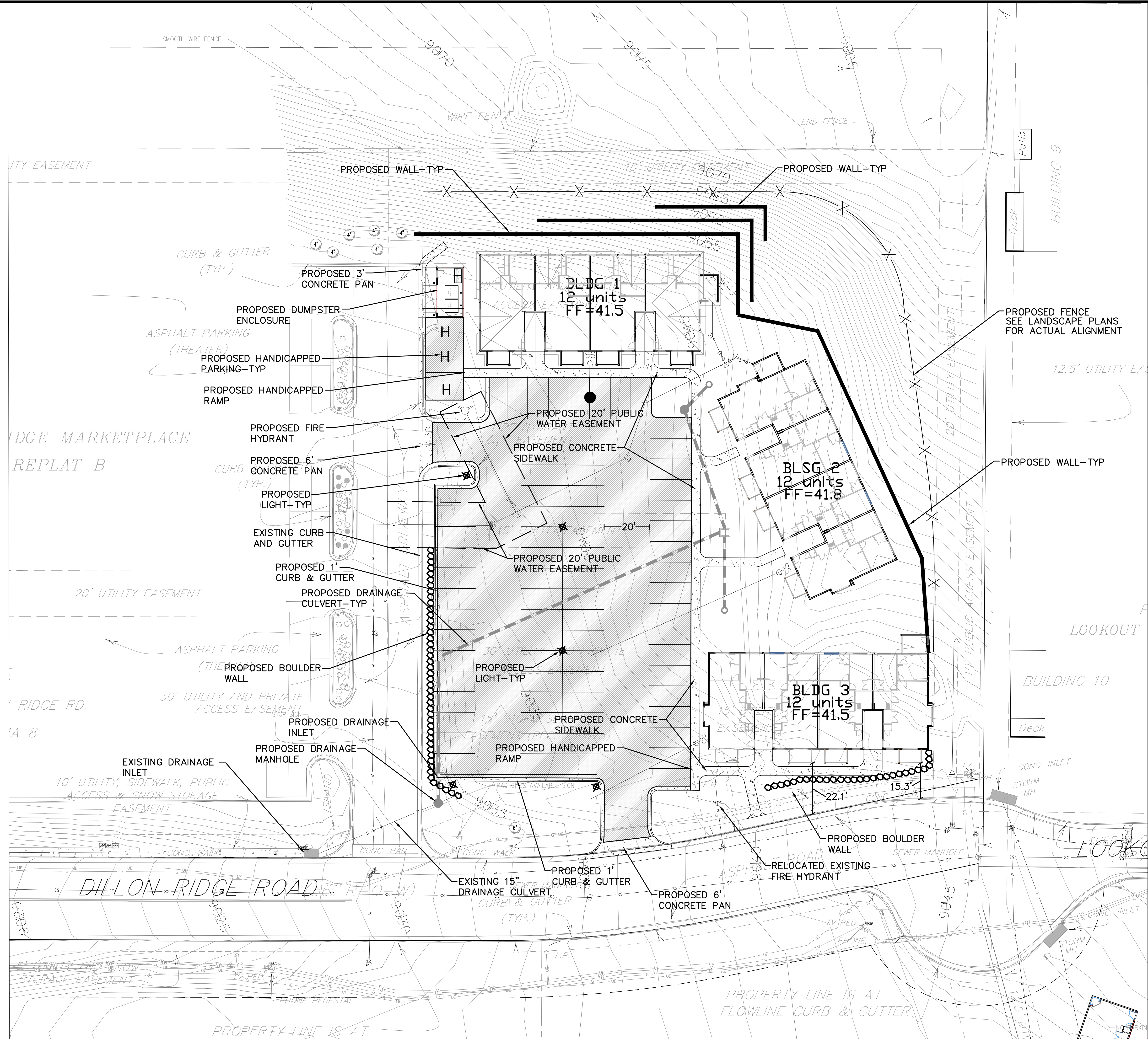


CALL UTILITY NOTIFICATION  
CENTER OF COLORADO  
**811**  
CALL 2 BUSINESS DAYS IN ADVANCE  
BEFORE YOU DIG, GRADE OR EXCAVATE  
FOR THE MARKING OF UNDERGROUND  
MEMBER UTILITIES.

0 10 20 40  
SCALE: 1" = 20'  
ORIGINAL GRAPHIC SCALE

**LEGEND**

- SANITARY MANHOLE
- RIPRAP
- STORM INLET
- STORM FES
- STORM MANHOLE
- WATER FIRE HYDRANT
- WATER MANHOLE
- WATER VALVE
- WATER STOPBOX
- ELECTRIC BREAKER BOX
- ELECTRIC METER
- ELECTRIC MKR
- ELECTRIC PEDESTAL
- LIGHT POLE
- ELECTRIC VAULT
- TELEPHONE PEDESTAL
- FIBER OPTIC MKR
- FIBER OPTICS PEDESTAL
- GAS MKR POST
- IRRIGATION CONTROL BOX
- IRRIGATION VALVE
- VENT PIPE
- BUSH EVERGREEN
- BUSH DECIDUOUS
- TREE CONIFER
- TREE DECIDUOUS
- HANDICAP RAMP
- TRAFFIC CONTROL CABINET
- TRAFFIC CONTROL VAULT
- TRAFFIC SIGNAL
- DELINEATOR
- SIGN
- ELECTRIC UNDERGROUND
- TELEPHONE LINE UNDERGROUND
- FIBER OPTIC UNDERGROUND
- CABLE TV UNDERGROUND
- GAS LINE UNDERGROUND
- STORM REINFORCED CONCRETE PIPE
- WATER LINE UNDERGROUND
- SANITARY UNDERGROUND
- FENCE
- LANDSCAPE EDGE
- TREELINE
- CROWN ROAD
- EDGE ASPHALT
- EDGE CONCRETE
- TRAIL
- CHASE
- PAN FLOWLINE
- LINEMARKING WHITE STRIPE SOLID
- LINEMARKING YELLOW STRIPE SOLID
- GUARD RAIL
- SPEED BUMP
- STEPS
- STRUCTURE
- HANDRAIL
- WALL
- CONCRETE
- ASPHALT PAVEMENT

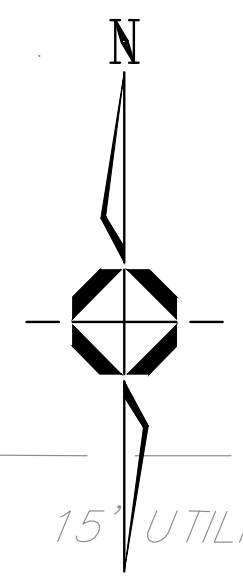


| Revised per TOD | Date   | Description    |
|-----------------|--------|----------------|
| 1               | 6/6/17 | No.            |
|                 |        | Revision/Issue |

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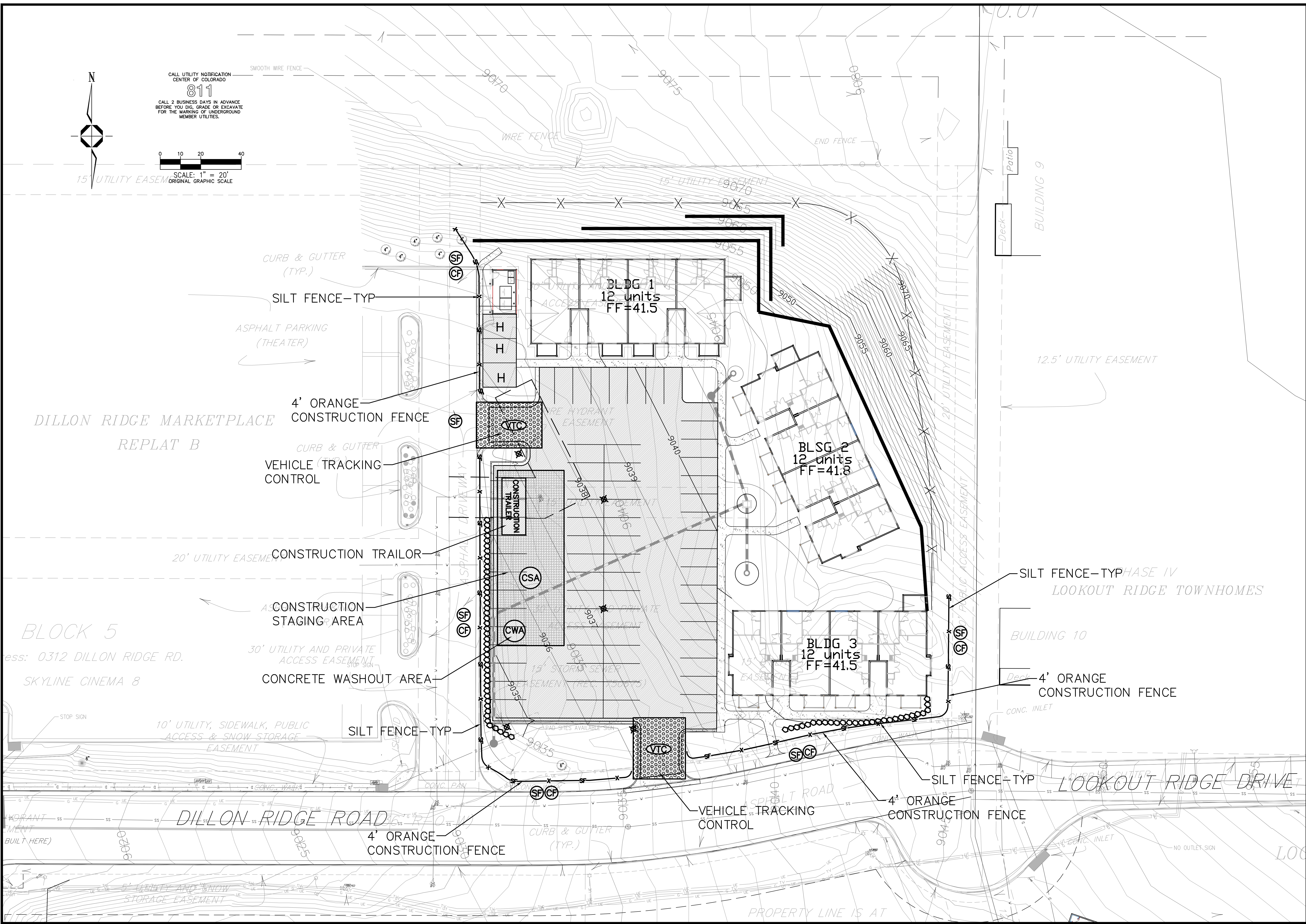
**DILLON RIDGE VISTAS  
BLOCK 6 DILLON RIDGE MARKETPLACE  
TOWN OF DILLON, COLORADO  
SITE AND EASEMENT PLAN**

|                                |            |
|--------------------------------|------------|
| Project<br>DILLON RIDGE VISTAS |            |
| Date<br>4/7/17                 | Sheet<br>3 |
| Scale<br>1"=20'                |            |



CALL UTILITY NOTIFICATION  
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SCALE: 1" = 20'  
ORIGINAL GRAPHIC SCALE

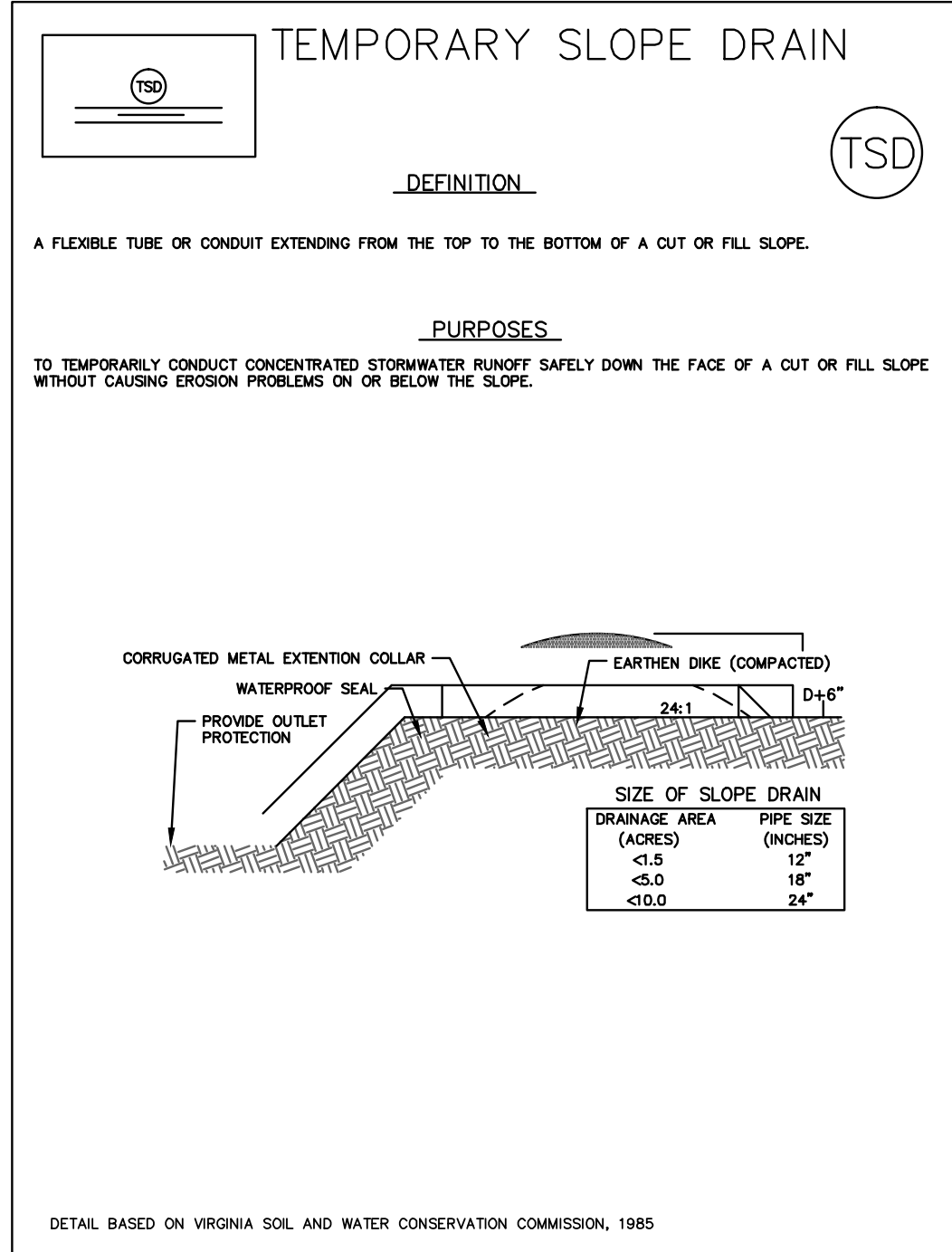
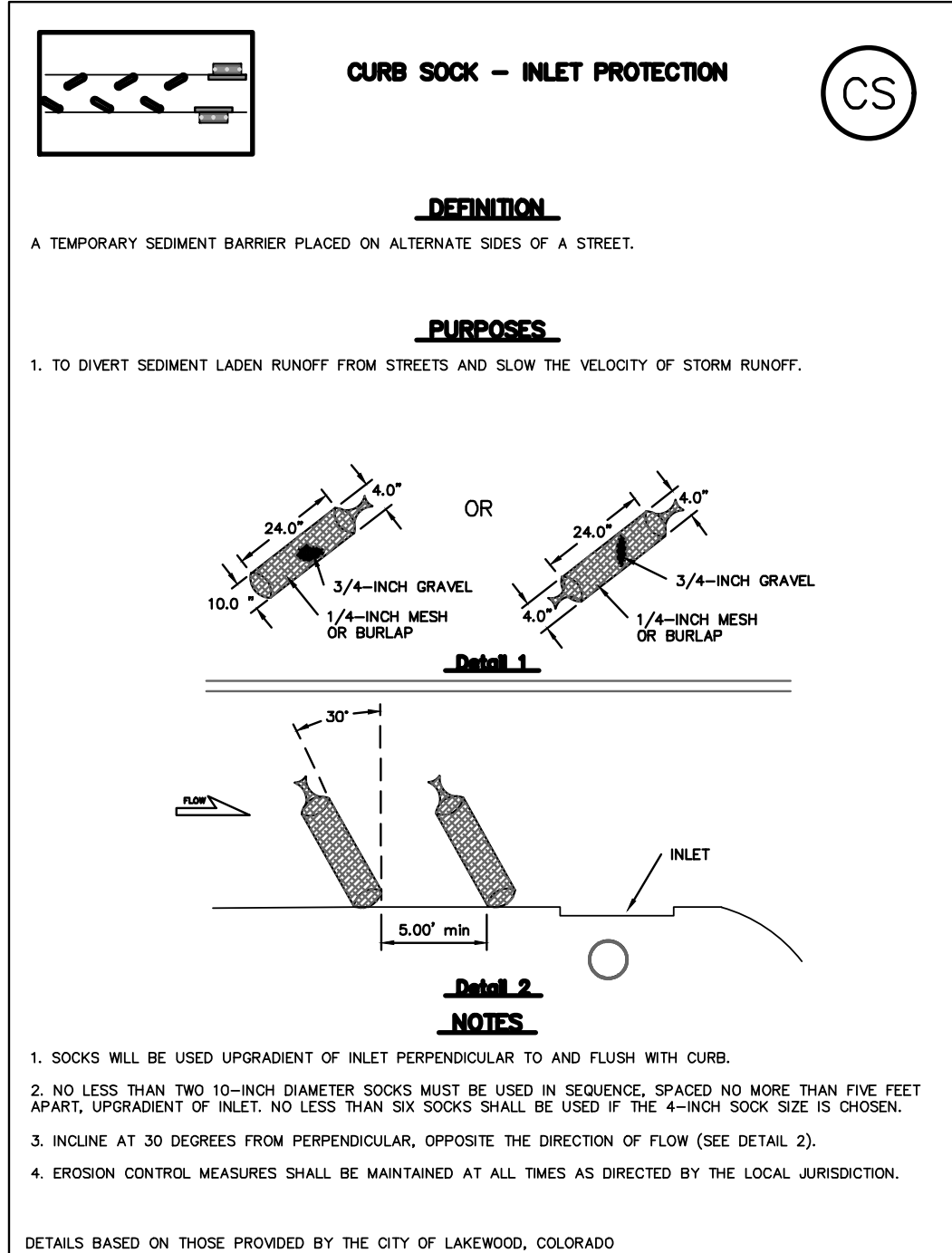
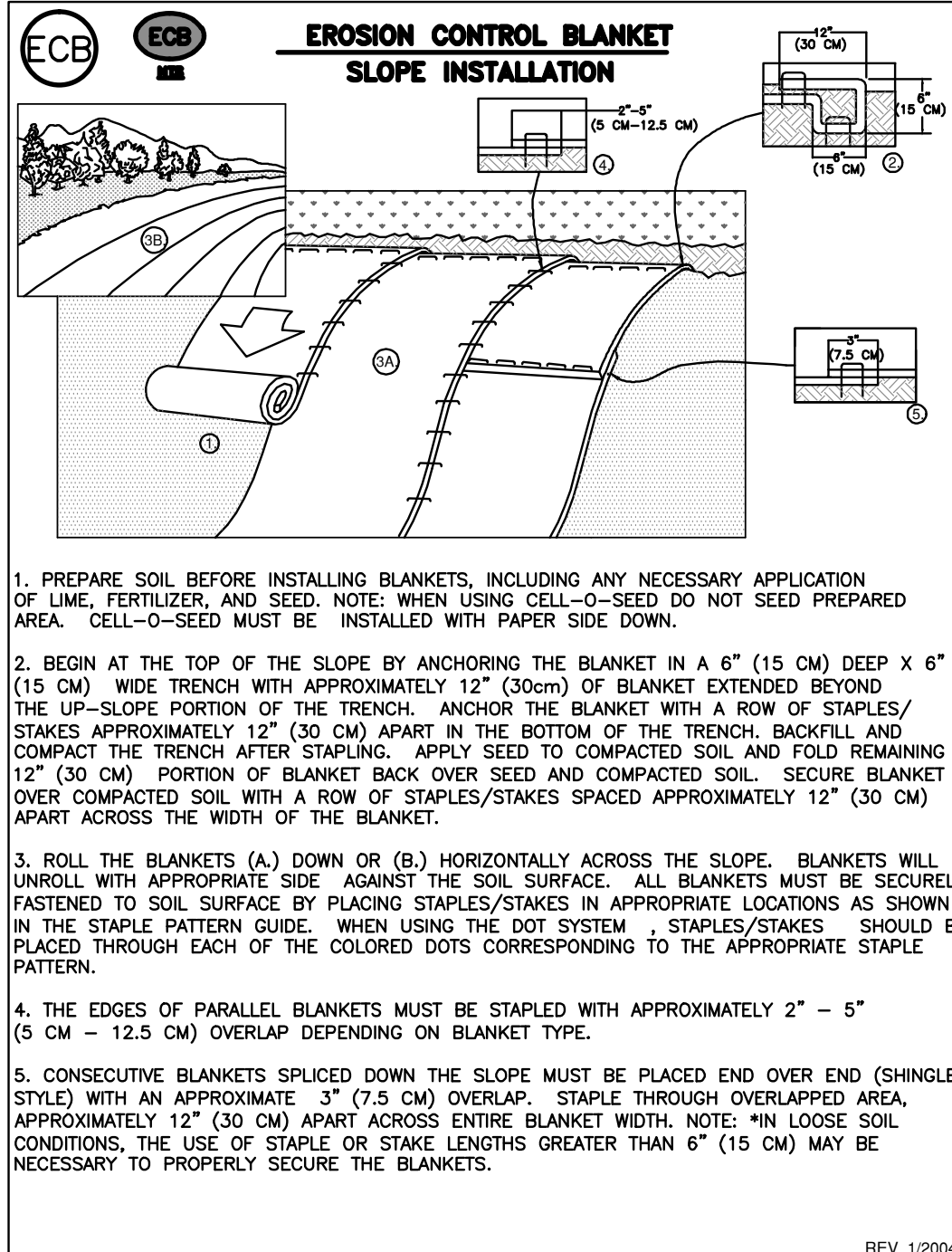
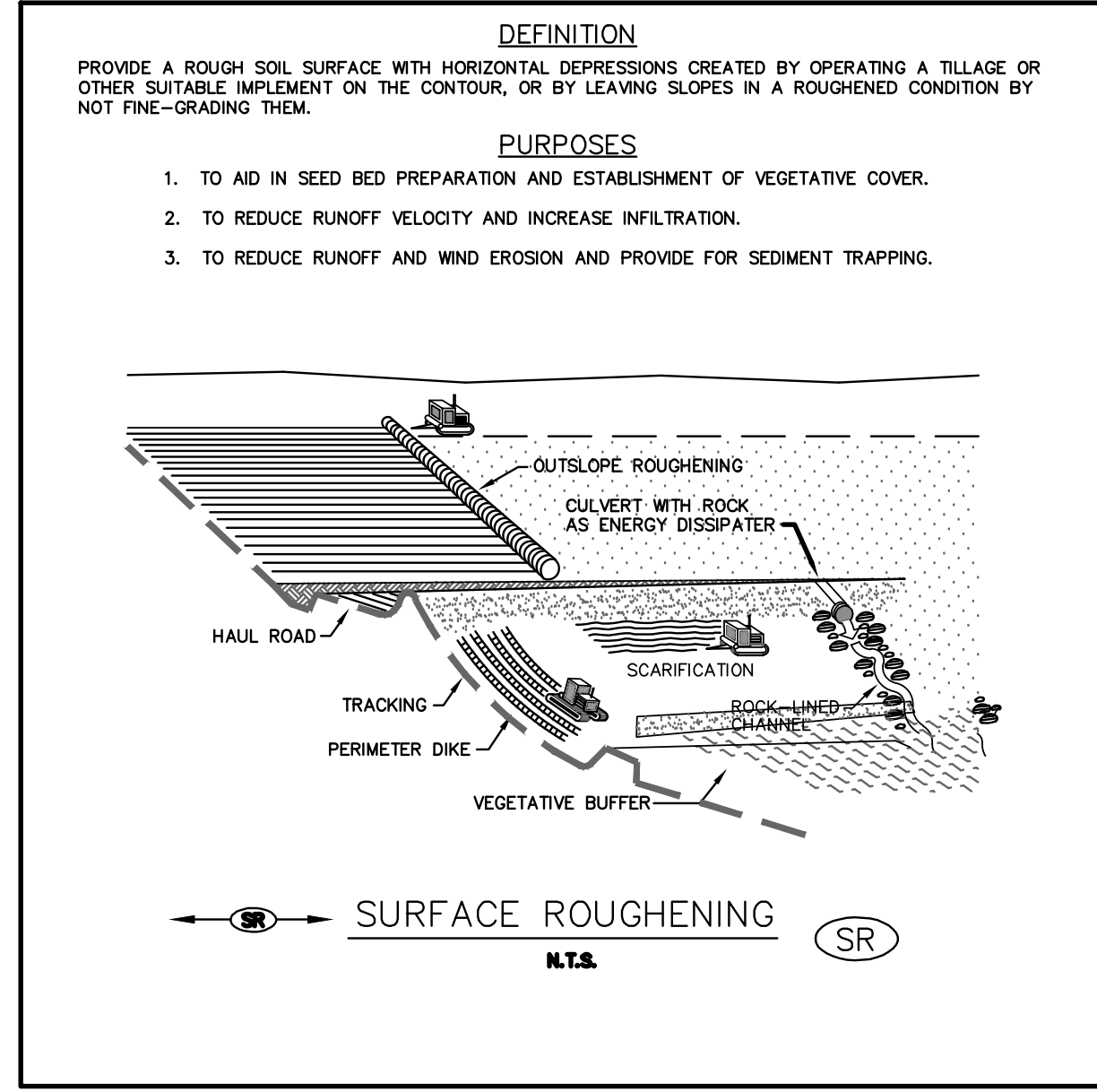
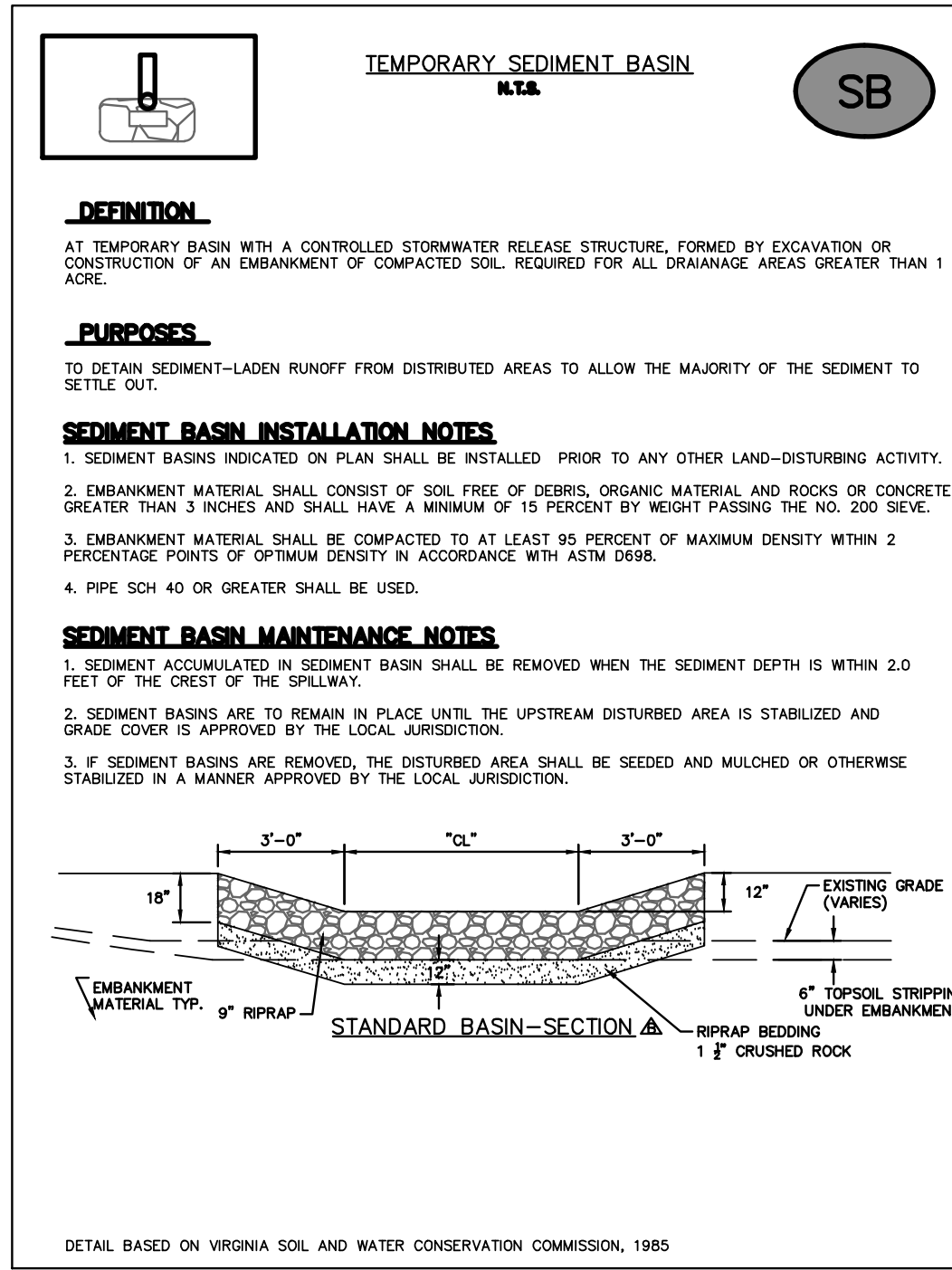
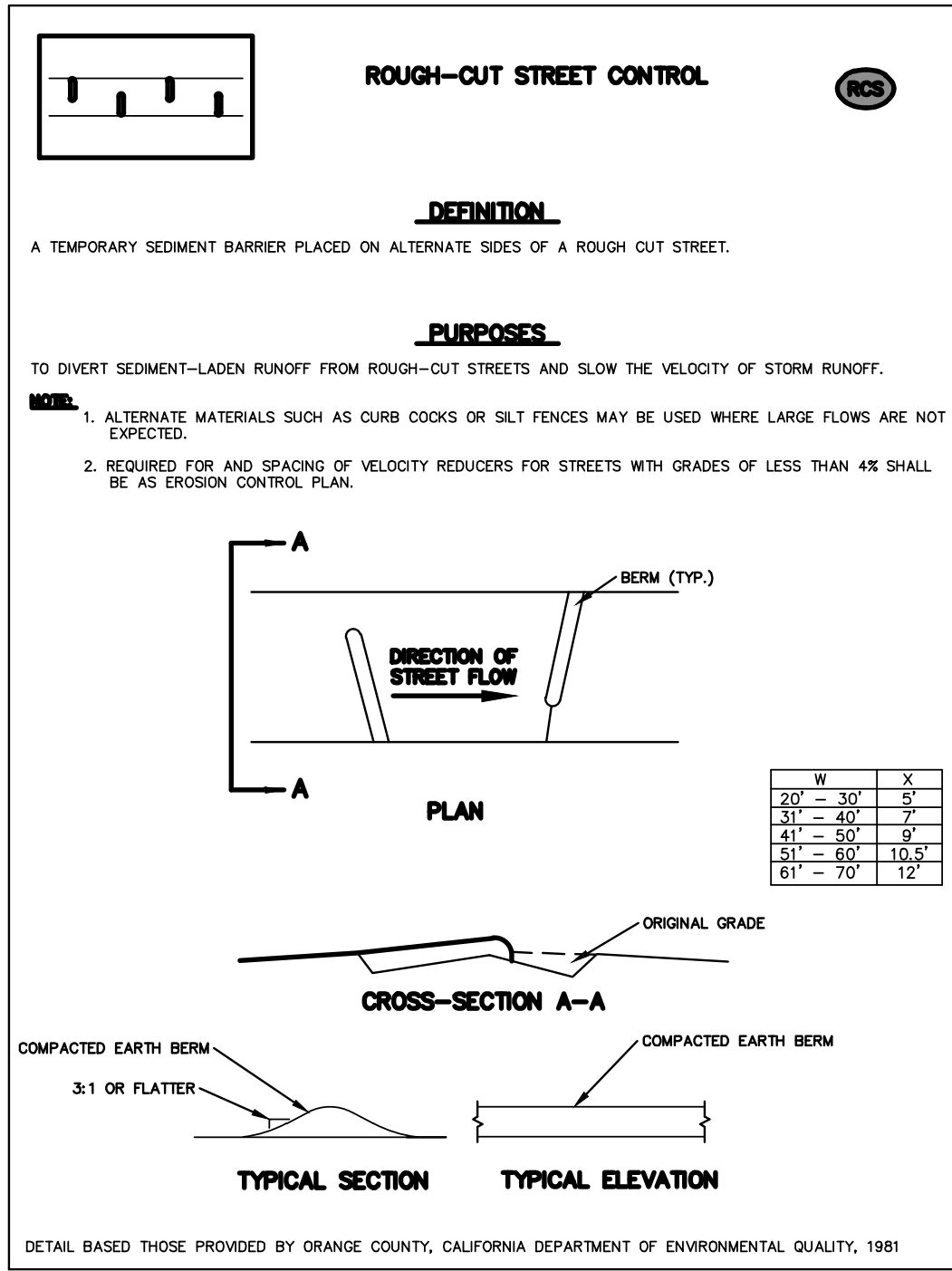
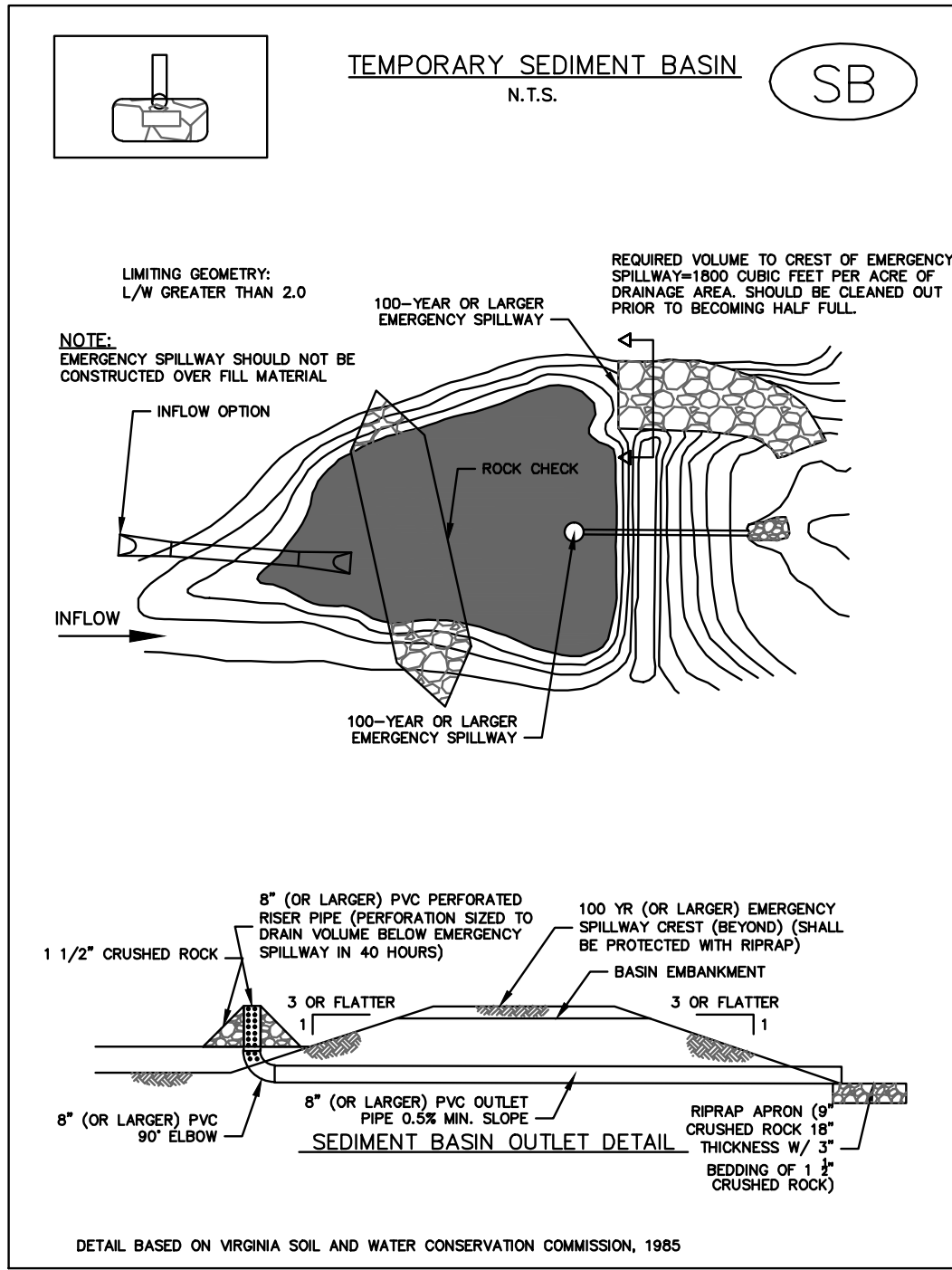


| No. | Revision/Issue | Date   | Revised per TOD Comments Description |
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| 1   |                | 6/6/17 |                                      |

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**DILLON RIDGE VISTAS  
BLOCK 6 DILLON RIDGE MARKETPLACE  
EROSION CONTROL AND  
CONSTRUCTION MANAGEMENT PLAN**

|                              |          |
|------------------------------|----------|
| Project: DILLON RIDGE VISTAS |          |
| Date: 4/7/17                 | Sheet: 4 |
| Scale: 1"=20'                |          |

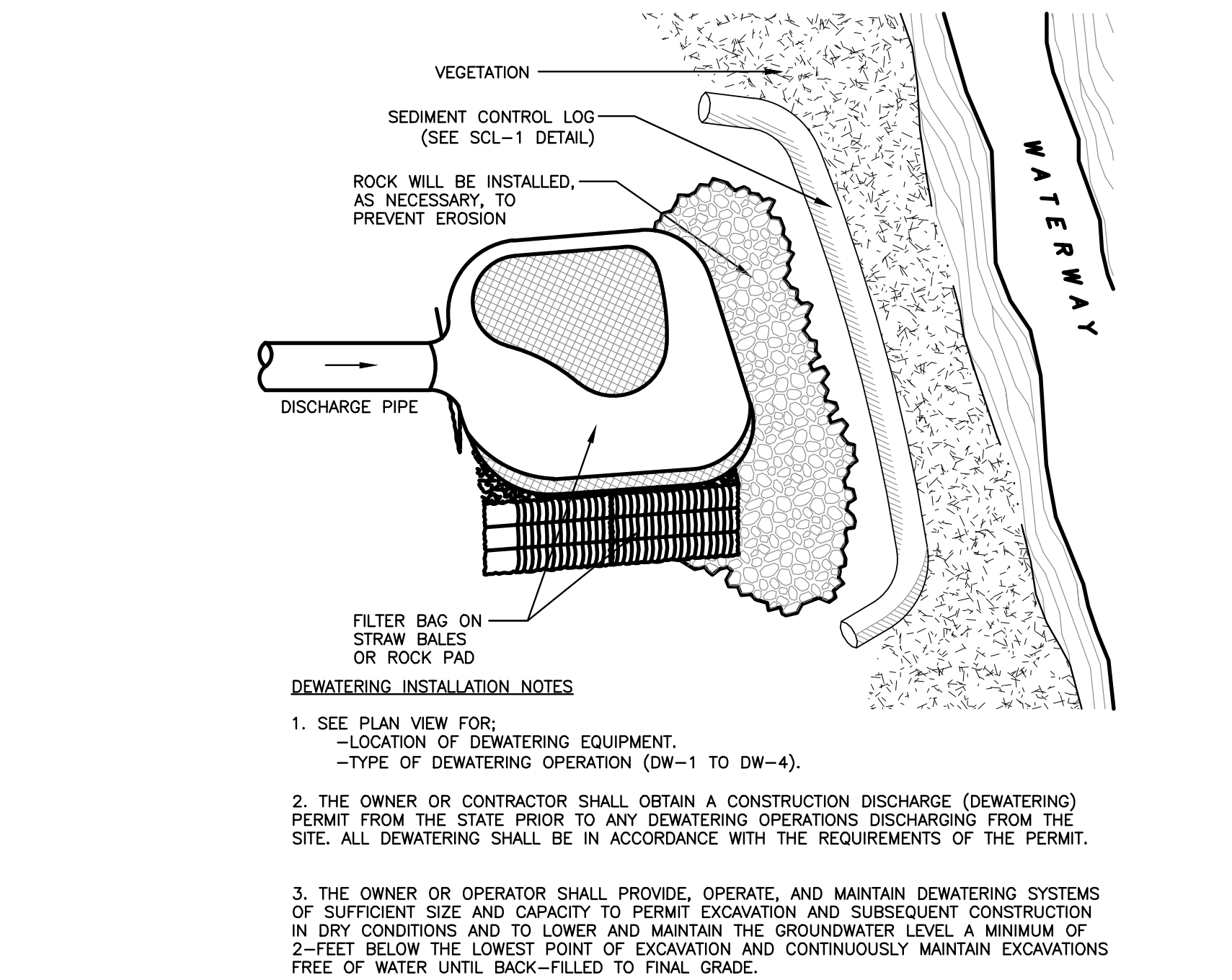


### NOTES

1. ADDITIONAL PRACTICES TO BE EMPLOYED AS NECESSARY TO MEET WATER QUALITY OBJECTIVES AND SUIT THE CURRENT WEATHER, SITE CONDITIONS, AND UNFORESEEN NEEDS.
2. CONTRACTOR RESPONSIBLE FOR ENSURING ALL PRACTICABLE SEDIMENT AND EROSION CONTROL SOLUTIONS ARE EMPLOYED TO MEET WATER QUALITY OBJECTIVES.

### LEGEND OF EROSION CONTROL PRACTICES

|     |  |   |   |
|-----|--|---|---|
| CS  |  | CURB SOCK INLET PROTECTION              | * |
| IP  |  | INLET PROTECTION                        | * |
| OP  |  | OUTLET PROTECTION                       |   |
| RCS |  | ROUGH CUT STREET CONTROL                |   |
| ECL |  | EXCELSIOR CHECK LOG                     |   |
| PS  |  | PERMANENT SEEDING                       |   |
| SR  |  | SURFACE ROUGHENING                      |   |
| MU  |  | MULCHING                                |   |
| CD  |  | CHECK DAM                               |   |
| DD  |  | TEMPORARY DIVERSION DIKE                |   |
| DV  |  | TEMPORARY CHANNEL DIVERSION             |   |
| CF  |  | CONSTRUCTION FENCE                      |   |
| SF  |  | SILT FENCE                              |   |
| VTC |  | VEHICLE TRACKING CONTROL                |   |
| WR  |  | VEHICLE TRACKING CONTROL WITH WASH RACK |   |
| STB |  | STRAW BALE BARRIER                      |   |
| ECB |  | EROSION CONTROL BLANKET                 |   |
| PF  |  | PAVED FLUME                             |   |
| TSD |  | TEMPORARY SLOPE DRAIN                   |   |
| CRS |  | CONSTRUCTION ROAD STABILIZATION         |   |
| SC  |  | TEMPORARY STREAM CROSSING               |   |
| SB  |  | SEDIMENT BASIN                          |   |
| ST  |  | SEDIMENT TRAP                           |   |



### DEWATERING INSTALLATION NOTES

1. DEWATERING OPERATIONS SHALL USE ONE OR MORE OF THE DEWATERING SUMPS SHOWN ABOVE, WELL POINTS, OR OTHER MEANS APPROVED BY THE LOCAL JURISDICTION TO REDUCE THE PUMPING OF SEDIMENT, AND SHALL PROVIDE A TEMPORARY SEDIMENT BASIN OR FILTRATION BMP TO REDUCE SEDIMENT TO ALLOWABLE LEVELS PRIOR TO RELEASE OFF SITE OR TO A RECEIVING WATER. A SEDIMENT BASIN MAY BE USED IN LIEU OF SUMP DISCHARGE SETTLING BASIN SHOWN ABOVE IF A 4-FOOT-SQUARE RIPRAP PAD IS PLACED AT THE DISCHARGE POINT AND THE DISCHARGE END OF THE LINE IS STAKED IN PLACE TO PREVENT MOVEMENT OF THE LINE.
2. DEWATERING OPERATIONS MAY REQUIRE A LOCAL PERMIT IN ADDITION TO STATE REQUIREMENTS.

### DEWATERING MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. DEWATERING BMPs ARE REQUIRED IN ADDITION TO ALL OTHER PERMIT REQUIREMENTS.
5. TEMPORARY SETTLING BASINS SHALL BE REMOVED WHEN NO LONGER NEEDED FOR DEWATERING OPERATIONS. ANY DISTURBED AREA SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO, NOT AVAILABLE IN AUTOCAD)

### DW-4. DEWATERING FILTER BAG

### EROSION CONTROL NARRATIVE - PHASE 1 AND PHASE 2

1. The intent of the Phase 1 erosion and sediment control plan is to fulfill water quality objectives during the roadway rough grading phase of the project. During this phase, it is anticipated that the maximum amount of disturbed area will be created. In order of occurrence, the following measures should be implemented.
2. A silt fence should be installed as shown on the plan.
3. Diversion dikes should be constructed as shown on the plan to redirect runoff water to stabilized outflow points. These diversion dikes shall be kept in the second phase, as the construction dictates, as part of finished grading for the lots. The dikes break up the slope length and reduce the potential for rill and gully erosion within the property boundary. At the downstream end of each of the diversion dikes, a silt trap should be installed and relocated as construction dictates, to capture sediments eroded from the partitioned areas.
4. Immediately after road grading is completed, temporary seeding with mulch cover is recommended for all the exposed slopes to stabilize the disturbed areas. Permanent seeding with a temporary mulch cover should be applied to the large areas as designated.
5. Once the Phase 1 rough grading and earth moving is completed, Phase 2 will commence. Phase 2 includes fine grading, home construction, utility construction and street construction. Erosion and control practices outlined include inlet protection and sandbags upstream of inlets, (curb socks).
6. It is extremely important that each of the measures be maintained on a regular basis and inspected by a qualified erosion-control specialist to achieve the required water quality control.
7. Should the utility and street construction not begin within 90 days of completion of the rough grading work, the contractor shall install Rough-Cut Street control in the street areas. It is suggested that during the 90 day period and during construction, division dikes should be used in lieu of the Rough-Cut Street control in the same general location and shape as the **(RCS)** shown on the plans.



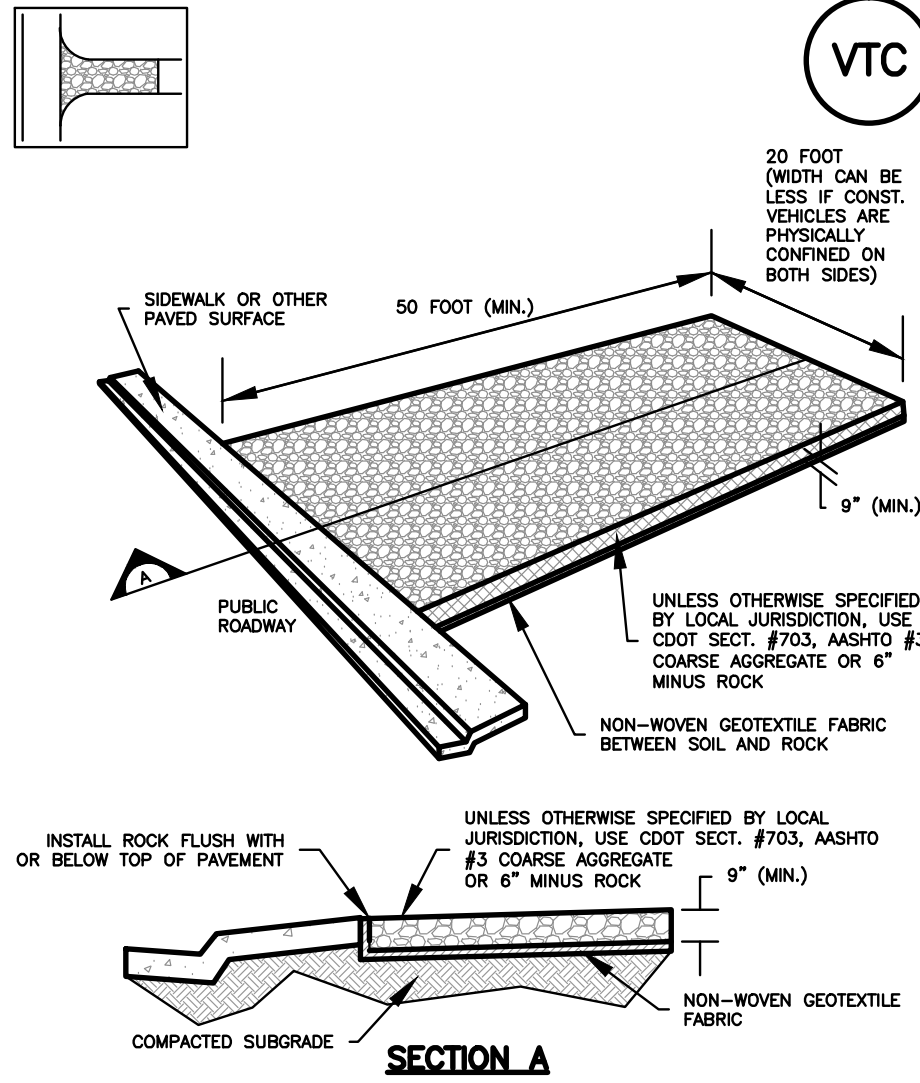
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| Project                    | DILLON RIDGE VISTAS |
| Date                       | 4/7/17              |
| Scale                      | NTS                 |
| Sheet                      | 5                   |
| Revision/Issue             | 1                   |
| Final Site Plan/Plat       | 4/7/17              |
| TOS Final Site Plan & Plat | 4/7/17              |
| Submission                 |                     |
| Description                |                     |

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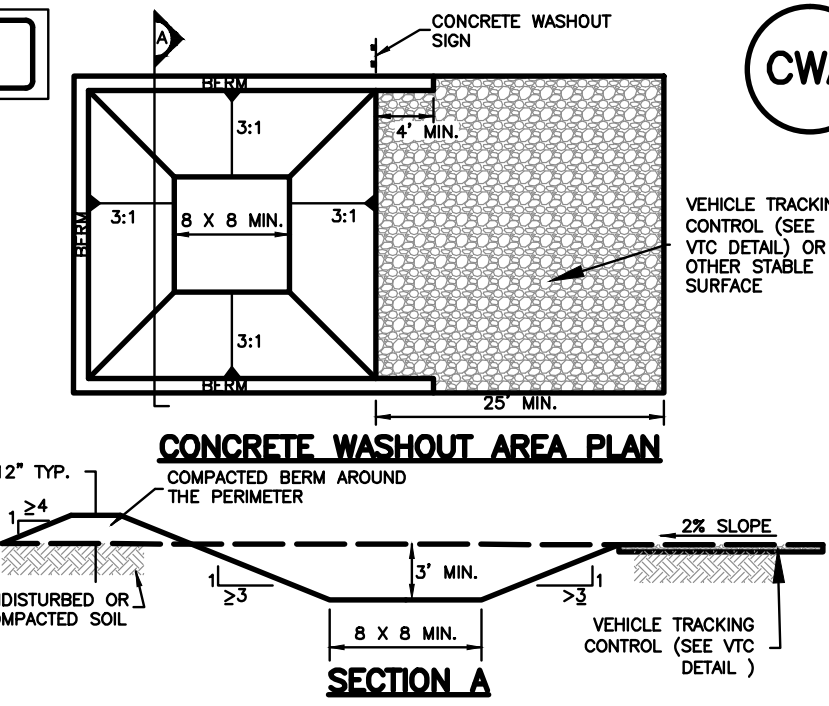
**DILLON RIDGE VISTAS**  
**BLOCK 6 DILLON RIDGE MARKETPLACE**  
TOWN OF DILLON, COLORADO  
**EROSION CONTROL DETAILS**

|                            |                     |
|----------------------------|---------------------|
| Project                    | DILLON RIDGE VISTAS |
| Date                       | 4/7/17              |
| Scale                      | NTS                 |
| Sheet                      | 5                   |
| Revision/Issue             | 1                   |
| Final Site Plan/Plat       | 4/7/17              |
| TOS Final Site Plan & Plat | 4/7/17              |
| Submission                 |                     |
| Description                |                     |





**VTC-1. AGGREGATE VEHICLE TRACKING CONTROL**



**CWA-1. CONCRETE WASHOUT AREA**

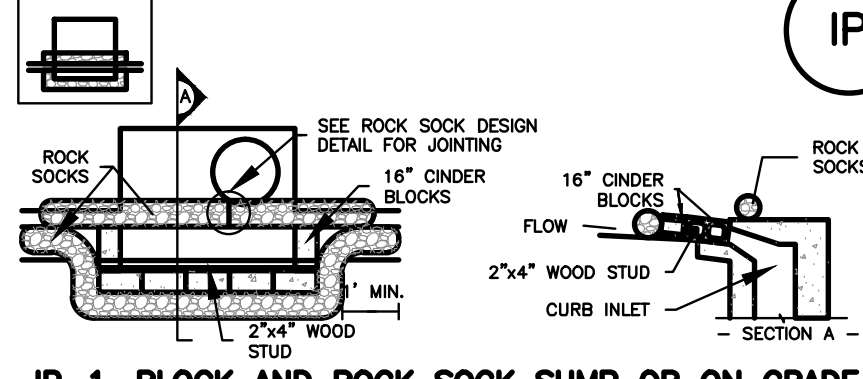
**CWA MAINTENANCE NOTES**

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE, CONCRETE MATERIALS, ACCUMULATED IN PIT, SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2".
- CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY.
- THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
- WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

**NOTE:** MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

**CWA INSTALLATION NOTES**

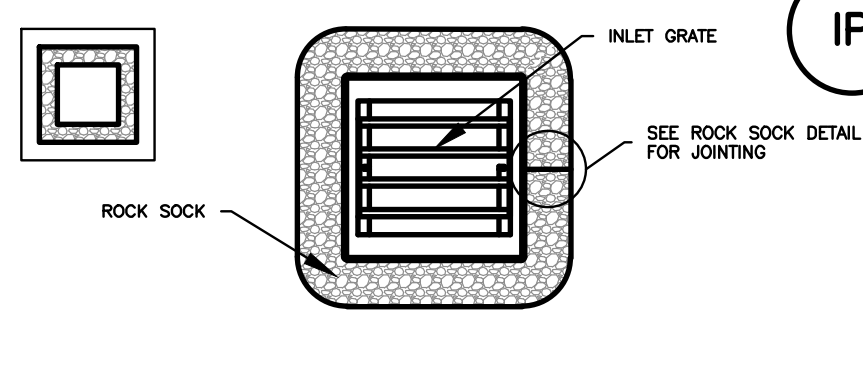
- SEE PLAN VIEW FOR:
  - CWA INSTALLATION LOCATION.
- DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY. DO NOT LOCATE WITHIN 1,000' OF ANY WELLS OR DRINKING WATER SOURCES. IF SITE CONSTRAINTS MAKE THIS UNFEASIBLE, OR IF HEAVILY PERMEABLE SOILS EXIST ON SITE, THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (16 MIN. THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINER ABOVE GROUND STORAGE ARE SHOULD BE USED.
- THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
- CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8" BY 8" SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER. THE PIT SHALL BE AT LEAST 3" DEEP.
- BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'.
- VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA.
- SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
- USE EXCAVATED MATERIAL FOR PERMETER BERM CONSTRUCTION.



**IP-1. BLOCK AND ROCK SOCK SUMP OR ON GRADE INLET PROTECTION**

**BLOCK AND CURB SOCK INLET PROTECTION INSTALLATION NOTES**

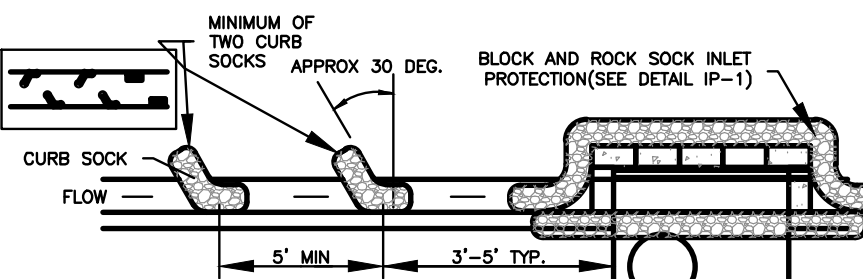
- SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
- CONCRETE "CINDER" BLOCKS SHALL BE LAID ON THEIR SIDES AROUND THE INLET IN A SINGLE ROW, ABUTTING ONE ANOTHER WITH THE OPEN END FACING AWAY FROM THE CURB.
- GRAVEL BAGS SHALL BE PLACED AROUND CONCRETE BLOCKS, CLOSELY ABUTTING ONE ANOTHER AND JOINED TOGETHER IN ACCORDANCE WITH ROCK SOCK DESIGN DETAIL.



**IP-3. ROCK SOCK SUMP/AREA INLET PROTECTION**

**ROCK SOCK SUMP/AREA INLET PROTECTION INSTALLATION NOTES**

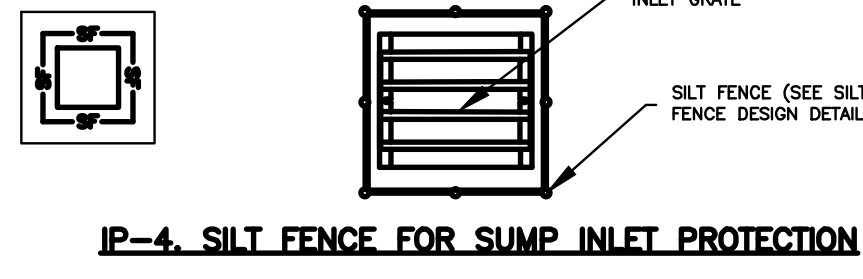
- SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
- STRAW WATTLES/SEDIMENT CONTROL LOGS MAY BE USED IN PLACE OF ROCK SOCKS FOR INLETS IN PERVIOUS AREAS. INSTALL PER SEDIMENT CONTROL LOG DETAIL.



**IP-2. CURB ROCK SOCKS UPSTREAM OF INLET PROTECTION**

**CURB ROCK SOCK INLET PROTECTION INSTALLATION NOTES**

- SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
- PLACEMENT OF THE SOCK SHALL BE APPROXIMATELY 30 DEGREES FROM PERPENDICULAR IN THE OPPOSITE DIRECTION OF FLOW.
- SOCKS ARE TO BE FLUSH WITH THE CURB AND SPACED A MINIMUM OF 5 FEET APART.
- AT LEAST TWO CURB SOCKS IN SERIES ARE REQUIRED UPSTREAM OF ON-GRADE INLETS.



**IP-4. SILT FENCE FOR SUMP INLET PROTECTION**

**SILT FENCE INLET PROTECTION INSTALLATION NOTES**

- SEE SILT FENCE DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
- POSTS SHALL BE PLACED AT EACH CORNER OF THE INLET AND AROUND THE EDGES AT A MAXIMUM SPACING OF 3 FEET.
- STRAW WATTLES/SEDIMENT CONTROL LOGS MAY BE USED IN PLACE OF SILT FENCE FOR INLETS IN PERVIOUS AREAS. INSTALL PER SEDIMENT CONTROL LOG DETAIL.

**GENERAL INLET PROTECTION INSTALLATION NOTES**

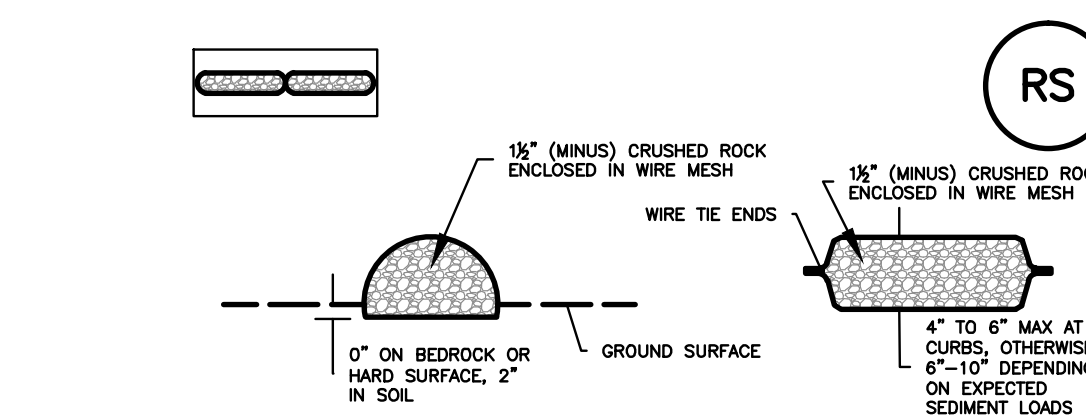
- SEE PLAN VIEW FOR:
  - LOCATION OF INLET PROTECTION.
  - TYPE OF INLET PROTECTION (IP-1, IP-2, IP-3, IP-4, IP-5, IP-6)
- INLET PROTECTION SHALL BE INSTALLED PROMPTLY AFTER INLET CONSTRUCTION OR PAVING IS COMPLETE (TYPICALLY WITHIN 48 HOURS), IF A RAINFALL/RUNOFF EVENT IS FORECAST. INSTALL INLET PROTECTION PRIOR TO ONSET OF EVENT.
- MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

**INLET PROTECTION MAINTENANCE NOTES**

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- SEDIMENT ACCUMULATED UPSTREAM OF INLET PROTECTION SHALL BE REMOVED AS NECESSARY TO MAINTAIN BMP EFFECTIVENESS. TYPICALLY WHEN STORAGE VOLUME REACHES SOAK OF CAPACITY, A DEPTH OF 6" WHEN SILT FENCE IS USED, OR 3/4 OF THE HEIGHT FOR STRAW BALES.
- INLET PROTECTION IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS PERMANENTLY STABILIZED, UNLESS THE LOCAL JURISDICTION APPROVES EARLIER REMOVAL OF INLET PROTECTION IN STREETS.
- WHEN INLET PROTECTION AT AREA INLETS IS REMOVED, THE DISTURBED AREA SHALL BE COVERED WITH TOP SOIL, SEED, AND MULCHED, OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

**NOTE:** MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

**NOTE:** SOME MUNICIPALITIES DISCOURAGE OR PROHIBIT THE USE OF STRAW BALES FOR INLET PROTECTION. CHECK WITH LOCAL JURISDICTION TO DETERMINE IF STRAW BALE INLET PROTECTION IS ACCEPTABLE.



**RS-1. ROCK SOCK PERIMETER CONTROL**

**ROCK SOCK MAINTENANCE NOTES**

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED, OR DAMAGED BEYOND REPAIR.
- SEDIMENT ACCUMULATED UPSTREAM OF ROCK SOCKS SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 3/4 OF THE HEIGHT OF THE ROCK SOCK.
- ROCK SOCKS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
- WHEN ROCK SOCKS ARE REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEED, AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

**NOTE:** MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

**NOTE:** THE DETAILS INCLUDED WITH THIS FACT SHEET SHOW COMMONLY USED, CONVENTIONAL METHODS OF ROCK SOCK INSTALLATION IN THE DENVER METROPOLITAN AREA. THERE ARE MANY OTHER SIMILAR PROPRIETARY PRODUCTS ON THE MARKET. UDFCD NEITHER ENDORSES NOR DISCOURAGES USE OF PROPRIETARY PROTECTION PRODUCTS; HOWEVER, IN THE EVENT PROPRIETARY METHODS ARE USED, THE APPROPRIATE DETAIL FROM THE MANUFACTURER MUST BE INCLUDED IN THE SWMP AND THE BMP MUST BE INSTALLED AND MAINTAINED AS SHOWN IN THE MANUFACTURER'S DETAILS.

**ROCK SOCK INSTALLATION NOTES**

- SEE PLAN VIEW FOR:
  - LOCATION(S) OF ROCK SOCKS.
- CRUSHED ROCK SHALL BE 1 1/2" (MINUS) IN SIZE WITH A FRACTURED FACE (ALL SIDES) AND SHALL COMPLY WITH GRADATION SHOWN ON THIS SHEET (1 1/2" MINUS).
- WIRE MESH SHALL BE FABRICATED OF 10 GAUGE POULTRY MESH, OR EQUIVALENT, WITH A MAXIMUM OPENING OF 3/4", RECOMMENDED MINIMUM ROLL WIDTH OF 48"
- WIRE MESH SHALL BE SECURED USING "HOG RINGS" OR WIRE TIES AT 6" CENTERS ALONG ALL JOINTS AND AT 2" CENTERS ON ENDS OF SOCKS.
- SOME MUNICIPALITIES MAY ALLOW THE USE OF FILTER FABRIC AS AN ALTERNATIVE TO WIRE MESH FOR THE ROCK ENCLOSURE.

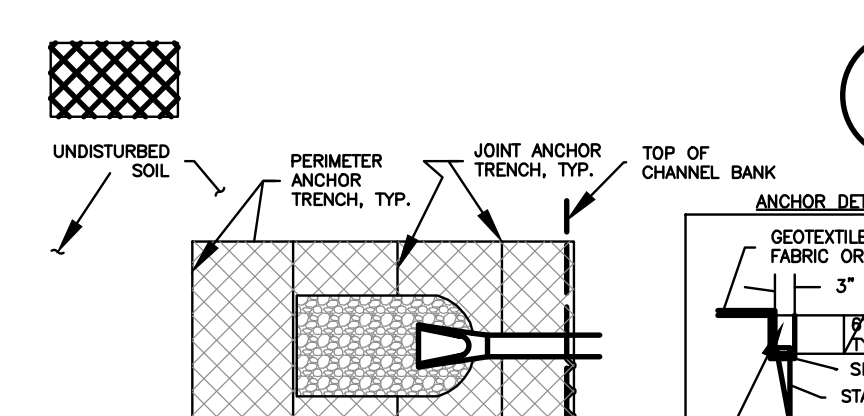
**GRADATION TABLE**

| GRADE | MASS PERCENT PASSING SQUARE MESH SIEVES |
|-------|---|
| NO. 4 | 100                                     |
| 100   | 90 - 100                                |
| 20    | 20 - 55                                 |
| 40    | 0 - 15                                  |
| 60    | 0 - 5                                   |

**MATCHES SPECIFICATIONS FOR NO. 4 COARSE AGGREGATE FOR CONCRETE PER AASHTO M 80. ALL ROCK SHALL BE FRACTURED FACE, ALL SIDES.**

**ROCK SOCK JOINTING**

ANY GAP AT JOINT SHALL BE FILLED WITH AN ADEQUATE AMOUNT OF 1 1/2" (MINUS) CRUSHED ROCK AND WRAPPED WITH ADDITIONAL WIRE MESH SECURED TO ENDS OF ROCK TOPSOIL, SEED, AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

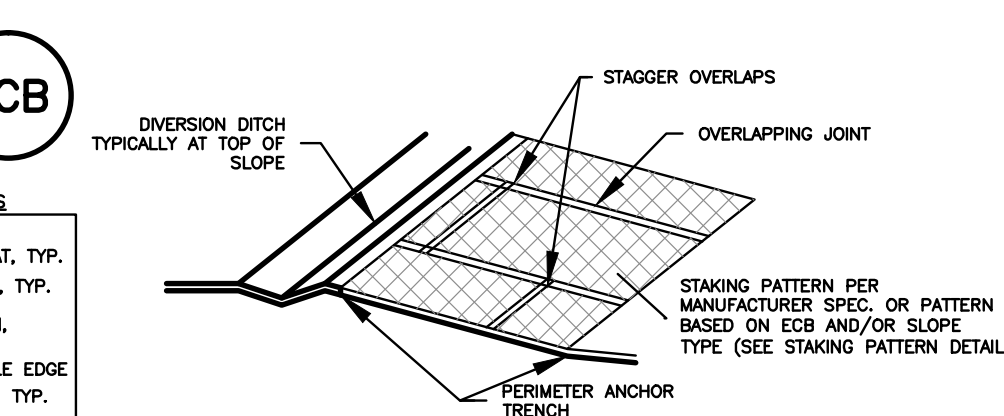


**ECB-1. PIPE OUTLET TO DRAINAGE WAY**

**EROSION CONTROL BLANKET INSTALLATION NOTES**

- SEE PLAN VIEW FOR:
  - LOCATION OF ECB.
  - TYPE OF ECB (STRAW, STRAW-COCOONIT, COCONUT, OR EXCELSIOR).
  - AREA, A, IN SQUARE YARDS OF EACH TYPE OF ECB.
- 100% NATURAL AND BIODEGRADABLE MATERIALS ARE PREFERRED FOR ECBs, ALTHOUGH SOME JURISDICTIONS MAY ALLOW OTHER MATERIALS IN SOME APPLICATIONS.
- IN AREAS WHERE ECBs ARE SHOWN ON THE PLANS, THE PERMITTEE SHALL PLACE TOPSOIL AND PERFORM FINAL GRADING, SURFACE PREPARATION, AND SEEDING AND MULCHING. SUBGRADE SHALL BE SMOOTH AND MOST PRIOR TO ECB INSTALLATION AND THE ECB SHALL BE IN FULL CONTACT WITH SUBGRADE. NO GAPS OR VOIDS SHALL EXIST UNDER THE BLANKET.
- ECB SHALL BE LEFT IN PLACE TO EVENTUALLY BIODEGRADE, UNLESS REQUESTED TO BE REMOVED BY THE LOCAL JURISDICTION.
- ANY ECB PULLED OUT, TORN, OR OTHERWISE DAMAGED SHALL BE REPAIRED OR REINSTALLED. ANY SUBGRADE AREAS BELOW THE GEOTEXTILE THAT HAVE ERODED TO CREATE A VOIL UNDERNEATH, OR THAT REMAIN DEVOID OF GRASS SHALL BE REPAIRED, RESEDED AND MULCHED AND THE ECB REINSTALLED.
- OVERLAPPING JOINT DETAIL SHALL BE USED TO JOIN ROLLS OF ECBs TOGETHER FOR ECBs ON SLOPES.
- MATERIAL SPECIFICATIONS OF ECBs SHALL CONFORM TO TABLE ECB-1.
- ANY AREAS OF SEEDING AND MULCHING DISTURBED IN THE PROCESS OF INSTALLING ECBs SHALL BE RESEDED AND MULCHED.
- DETAILS ON DESIGN PLANS FOR MAJOR DRAINAGEWAY STABILIZATION WILL GOVERN IF DIFFERENT FROM THOSE SHOWN HERE.

**NOTE:** MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

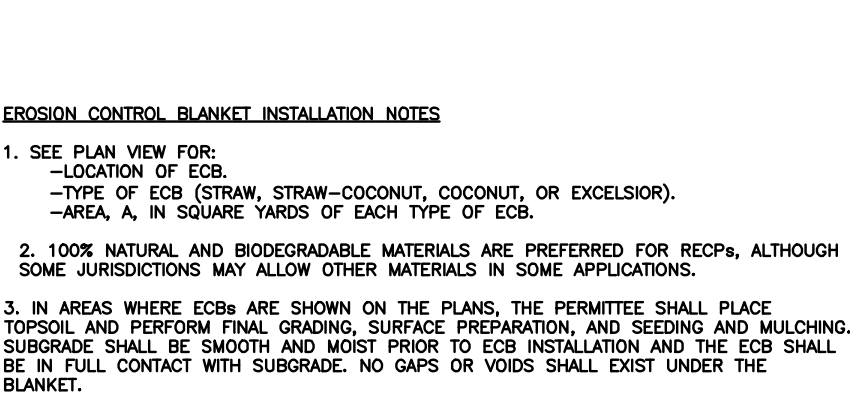


**ECB-3. OUTSIDE OF DRAINAGE WAY**

**EROSION CONTROL BLANKET MAINTENANCE NOTES**

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ECB SHALL BE LEFT IN PLACE TO EVENTUALLY BIODEGRADE, UNLESS REQUESTED TO BE REMOVED BY THE LOCAL JURISDICTION.
- ANY ECB PULLED OUT, TORN, OR OTHERWISE DAMAGED SHALL BE REPAIRED OR REINSTALLED. ANY SUBGRADE AREAS BELOW THE GEOTEXTILE THAT HAVE ERODED TO CREATE A VOIL UNDERNEATH, OR THAT REMAIN DEVOID OF GRASS SHALL BE REPAIRED, RESEDED AND MULCHED AND THE ECB REINSTALLED.
- OVERLAPPING JOINT DETAIL SHALL BE USED TO JOIN ROLLS OF ECBs TOGETHER FOR ECBs ON SLOPES.
- MATERIAL SPECIFICATIONS OF ECBs SHALL CONFORM TO TABLE ECB-1.
- ANY AREAS OF SEEDING AND MULCHING DISTURBED IN THE PROCESS OF INSTALLING ECBs SHALL BE RESEDED AND MULCHED.
- DETAILS ON DESIGN PLANS FOR MAJOR DRAINAGEWAY STABILIZATION WILL GOVERN IF DIFFERENT FROM THOSE SHOWN HERE.

**NOTE:** MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.



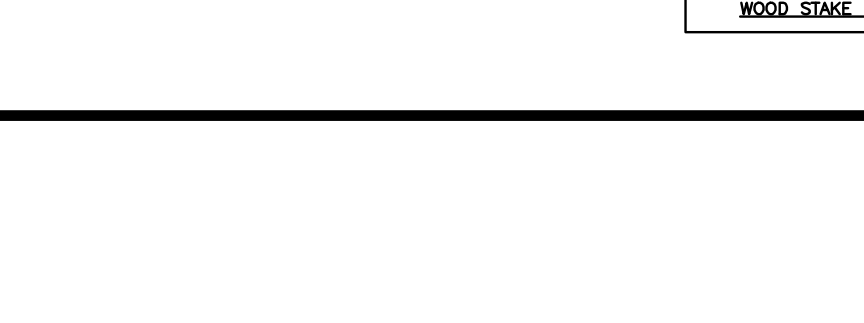
**STAKING PATTERNS BY ECB TYPE**

**TABLE ECB-1. ECB MATERIAL SPECIFICATIONS**

| TYPE           | COCOONIT CONTENT | STRAW CONTENT | EXCELSIOR CONTENT | RECOMMENDED NETTING** |
|----------------|------------------|---------------|-------------------|-----------------------|
| STRAW          | -                | 100%          | -                 | DOUBLE/NATURAL        |
| STRAW-COCOONIT | 30% MIN          | 70% MAX       | -                 | DOUBLE/NATURAL        |
| COCONUT        | 100%             | -             | -                 | DOUBLE/NATURAL        |
| EXCELSIOR      | -                | -             | 100%              | DOUBLE/NATURAL        |

**\*\*SINGLE NETTING MAY ONLY BE USED OUTSIDE OF STAGING AND STAGING CHANNEL. ALTERNATE NETTING MAY BE ACCEPTABLE IN SOME JURISDICTIONS.**

**STAKING PATTERNS BY SLOPE OR CHANNEL TYPE**



**ECB-2. SMALL DITCH OR DRAINAGE WAY**

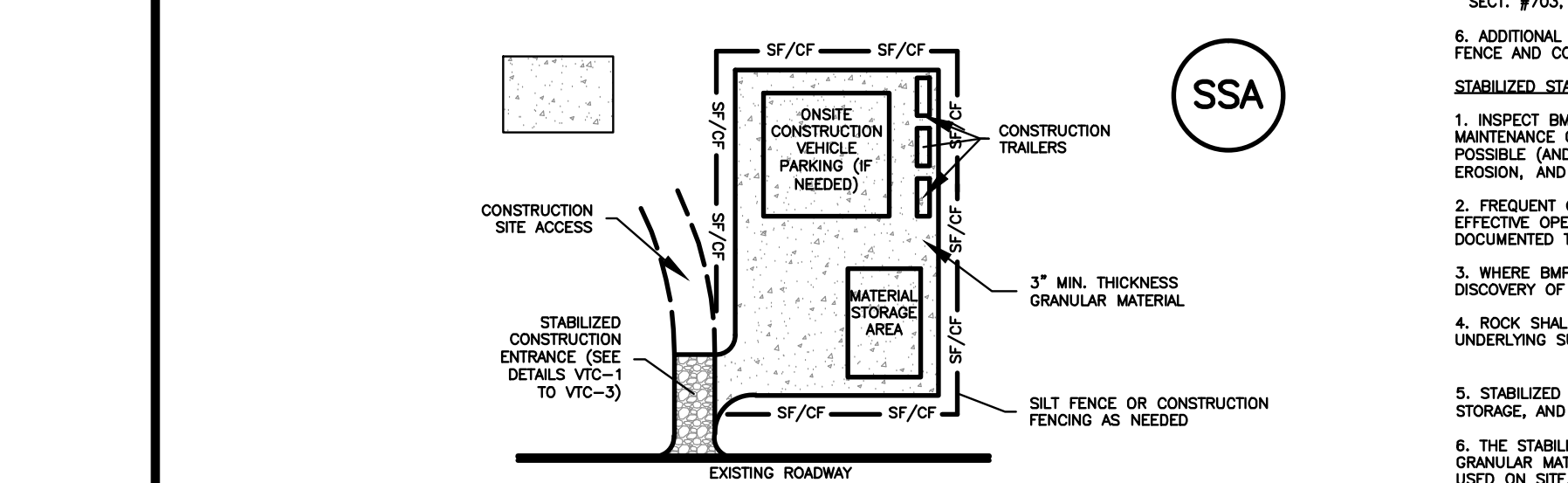
**STABILIZED CONSTRUCTION ENTRANCE/EXIT INSTALLATION NOTES**

- SEE PLAN VIEW FOR:
  - LOCATION OF CONSTRUCTION ENTRANCE(S)/EXIT(S).
  - TYPE OF CONSTRUCTION ENTRANCE(S)/EXIT(S) (WITH/WITHOUT WHEEL WASH, CONSTRUCTION MAT OR TRM).
- CONSTRUCTION MAT OR TRM STABILIZED CONSTRUCTION ENTRANCES ARE ONLY TO BE USED ON SHORT DURATION PROJECTS (TYPICALLY RANGING FROM A WEEK TO A MONTH) WHERE THERE WILL BE LIMITED VEHICULAR ACCESS.
- A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE LOCATED AT ALL ACCESS POINTS WHERE VEHICLES ACCESS THE CONSTRUCTION SITE FROM PAVED RIGHT-OF-WAYS.
- STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- A NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE STABILIZED CONSTRUCTION ENTRANCE/EXIT PRIOR TO THE PLACEMENT OF ROCK.
- UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.

**STABILIZED CONSTRUCTION ENTRANCE/EXIT MAINTENANCE NOTES**

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY TO THE STABILIZED ENTRANCE/EXIT TO MAINTAIN A CONSISTENT DEPTH.
- SEDIMENT TRACKED ON PAVED ROADS IS TO BE REMOVED THROUGHOUT THE DAY AND AT THE END OF THE DAY BY SHOVELING OR SWEEPING. SEDIMENT MAY NOT BE WASHED DOWN STORM SEWER DRAINS.

**NOTE:** MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.



**SSA-1. STABILIZED STAGING AREA**

**STABILIZED STAGING AREA INSTALLATION NOTES**

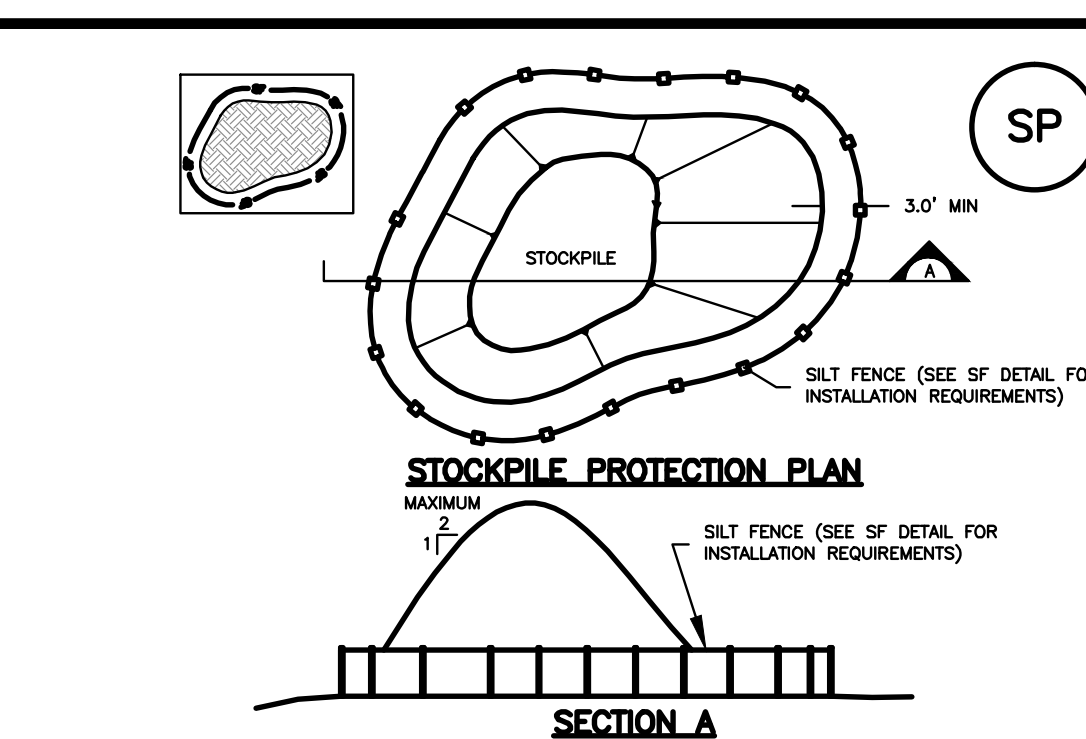
- SEE PLAN VIEW FOR:
  - LOCATION OF STAGING AREA(S).
  - CONTRACTOR MAY ADJUST LOCATION AND SIZE OF STAGING AREA WITH APPROVAL FROM THE LOCAL JURISDICTION.
- STABILIZED STAGING AREA SHOULD BE APPROPRIATE FOR THE NEEDS OF THE SITE. OVERSIZING RESULTS IN A LARGER AREA TO STABILIZE FOLLOWING CONSTRUCTION.
- STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE.
- THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM 3" THICK GRANULAR MATERIAL.
- UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.
- ADDITIONAL PERMETER BMPs MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO SILT FENCE AND CONSTRUCTION FENCING.

**STABILIZED STAGING AREA MAINTENANCE NOTES**

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY IF RUTTING OCCURS OR UNDERLYING SUBGRADE BECOMES EXPOSED.
- STABILIZED STAGING AREA SHALL BE ENLARGED IF NECESSARY TO CONTAIN PARKING, STORAGE, AND WASHING/LOADING OPERATIONS.
- THE STABILIZED STAGING AREA SHALL BE REMOVED AT THE END OF CONSTRUCTION. THE GRANULAR MATERIAL SHALL BE REMOVED OR, IF APPROVED BY THE LOCAL JURISDICTION, USED ON SITE, AND THE AREA COVERED WITH TOPSOIL, SEED, AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY LOCAL JURISDICTION.

**NOTE:** MANY MUNICIPALITIES PROHIBIT THE USE OF RECYCLED CONCRETE AS GRANULAR MATERIAL FOR STABILIZED STAGING AREAS DUE TO DIFFICULTIES WITH RE-ESTABLISHMENT OF VEGETATION IN AREAS WHERE RECYCLED CONCRETE WAS PLACED.

**NOTE:** MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.



**SP-1. STOCKPILE PROTECTION**

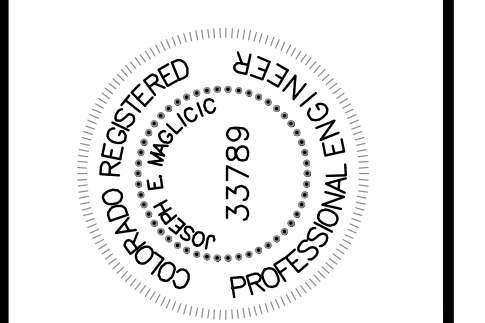
**STOCKPILE PROTECTION INSTALLATION NOTES**

- SEE PLAN VIEW FOR:
  - LOCATION OF STOCKPILES.
  - TYPE OF STOCKPILE PROTECTION.
- INSTALL PERMETER CONTROLS IN ACCORDANCE WITH THEIR RESPECTIVE DESIGN DETAILS. SILT FENCE IS SHOWN IN THE STOCKPILE PROTECTION DETAIL; HOWEVER, OTHER TYPES OF PERMETER CONTROLS INCLUDING SEDIMENT CONTROL LOGS OR ROCK SOCKS MAY BE SUITABLE IN SOME CIRCUMSTANCES. CONSIDERATIONS FOR DETERMINING THE APPROPRIATE TYPE OF PERMETER CONTROL FOR A STOCKPILE INCLUDE WHETHER THE STOCKPILE IS LOCATED ON A PERVIOUS OR IMPERVIOUS SURFACE, THE RELATIVE HEIGHTS OF THE PERMETER CONTROL AND STOCKPILE, THE ABILITY OF THE PERMETER CONTROL TO CONTAIN THE STOCKPILE WITHOUT FALING IN THE EVENT THAT MATERIAL FROM THE STOCKPILE SHIFTS OR SLIPS AGAINST THE PERMETER, AND OTHER FACTORS.
- STABILIZE THE STOCKPILE SURFACE WITH SURFACE ROUGHENING, TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS, OR SOIL BINDERS. SOILS STOCKPILED FOR AN EXTENDED PERIOD (TYPICALLY FOR MORE THAN 60 DAYS) SHOULD BE SEED, SEED, AND MULCHED WITH A TEMPORARY GRASS COVER ONCE THE STOCKPILE IS PLACED (TYPICALLY WITHIN 14 DAYS). USE OF MULCH ONLY OR A SOIL BINDER IS ACCEPTABLE IF THE STOCKPILE WILL BE IN PLACE FOR A MORE LIMITED TIME PERIOD (TYPICALLY 30-60 DAYS).
- FOR TEMPORARY STOCKPILES ON THE INTERIOR PORTION OF A CONSTRUCTION SITE, WHERE OTHER DOWNSTREAM CONTROLS, INCLUDING PERMETER CONTROL, ARE IN PLACE, STOCKPILE PERMETER CONTROLS MAY NOT BE REQUIRED.

**STOCKPILE PROTECTION MAINTENANCE NOTES**

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- IF PERMETER PROTECTION MUST BE MOVED TO ACCESS SOIL STOCKPILE, REPLACE PERMETER CONTROLS BY THE END OF THE WORKDAY.
- STOCKPILE PERMETER CONTROLS CAN BE REMOVED ONCE ALL THE MATERIAL FROM THE STOCKPILE HAS BEEN USED.

**NOTE:** MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.



| Project             | Date   | Sheet |
|---------------------|--------|-------|
| DILLON RIDGE VISTAS | 4/7/17 | 6     |

| Revision/Issue | Date   | Description                          |
|----------------|--------|--------------------------------------|
| 1              | 4/7/17 | TOS FINAL SITE PLAN & PLAT SUBMITTAL |



|   |                      |        |                                      |                |
|---|----------------------|--------|--------------------------------------|----------------|
| 1 | FINAL SITE PLAN/PLAT | 4/7/17 | TOS FINAL SITE PLAN & PLAT SUBMITTAL | Description    |
|   |                      |        |                                      | Date           |
|   |                      |        |                                      | Revision/Issue |

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**DILLON RIDGE VISTAS**  
**BLOCK 6 DILLON RIDGE MARKETPLACE**  
TOWN OF DILLON, COLORADO  
**EROSION CONTROL DETAILS**

|         |                     |       |
|---------|---------------------|-------|
| Project | DILLON RIDGE VISTAS |       |
| Date    | 4/7/17              | Sheet |
| Scale   | NTS                 | 7     |

### CD-1. CHECK DAM

**CHECK DAM INSTALLATION NOTES**

- SEE PLAN VIEW FOR:
  - LOCATION OF CHECK DAMS.
  - CHECK DAM TYPE (CHECK DAM OR REINFORCED CHECK DAM).
  - LENGTH (L), CREST LENGTH (CL), AND DEPTH (D).
- CHECK DAMS INDICATED ON INITIAL SWMP SHALL BE INSTALLED AFTER CONSTRUCTION FINISH, BUT PRIOR TO ANY UPSTREAM LAND DISTURBING ACTIVITIES.
- RRIPAP UTILIZED FOR CHECK DAMS SHOULD BE OF APPROPRIATE SIZE FOR THE APPLICATION. TYPICAL TYPES OF RRIPAP USED FOR CHECK DAMS ARE TYPE M (D50 12") OR TYPE L (D50 9").
- RRIPAP PAD SHALL BE TRENCHED INTO THE GROUND A MINIMUM OF 1".
- THE ENDS OF THE CHECK DAM SHALL BE A MINIMUM OF 1' 6" HIGHER THAN THE CENTER OF THE CHECK DAM.

**CHECK DAM MAINTENANCE NOTES**

- INSPECT Bmps EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF Bmps SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT Bmps AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN Bmps IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE Bmps HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- SEDIMENT ACCUMULATED UPSTREAM OF THE CHECK DAMS SHALL BE REMOVED WHEN THE SEDIMENT DEPTH IS WITHIN 1/2 OF THE HEIGHT OF THE CREST.
- CHECK DAMS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
- WHEN CHECK DAMS ARE REMOVED, EXCAVATIONS SHALL BE FILLED WITH SUITABLE COMPACTED BACKFILL. DISTURBED AREA SHALL BE SEEDED AND MULCHED OR COVERED WITH GEOTEXTILE OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

**NOTE:** MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

### OP-1. TEMPORARY OUTLET PROTECTION

**TEMPORARY OUTLET PROTECTION PLAN**

**TEMPORARY OUTLET PROTECTION INSTALLATION NOTES**

- SEE PLAN VIEW FOR:
  - LOCATION OF OUTLET PROTECTION.
  - DIMENSIONS OF OUTLET PROTECTION.
- DETAIL IS INTENDED FOR PIPES WITH SLOPE  $\leq 10\%$ . ADDITIONAL EVALUATION OF RRIPAP SIZING AND OUTLET PROTECTION DIMENSIONS REQUIRED FOR STEEPER SLOPES.
- TEMPORARY OUTLET PROTECTION INFORMATION IS FOR OUTLETS INTENDED TO BE UTILIZED LESS THAN 2 YEARS.

**TEMPORARY OUTLET PROTECTION INSPECTION AND MAINTENANCE NOTES**

- INSPECT Bmps EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF Bmps SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT Bmps AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN Bmps IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE Bmps HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.

**NOTE:** MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

| PIPE DIAMETER, D (INCHES) | DISCHARGE, Q (CFS) | APRON LENGTH, L <sub>o</sub> (FT) | RRIPAP D <sub>50</sub> DIAMETER MIN (INCHES) |
|---------------------------|--------------------|-----------------------------------|--|
| 8                         | 2.5                | 5                                 | 4  |
|                           | 5                  | 10                                | 6  |
| 12                        | 5                  | 10                                | 4  |
|                           | 10                 | 13                                | 6  |
|                           | 10                 | 10                                | 6  |
|                           | 20                 | 16                                | 9  |
|                           | 30                 | 23                                | 12   |
|                           | 40                 | 26                                | 16   |
| 24                        | 30                 | 16                                | 9  |
|                           | 40                 | 26                                | 9  |
|                           | 60                 | 30                                | 12   |
|                           |                    |                                   | 16   |

### CB-1. COMPOST BLANKET AND COMPOST FILTER BERM

**COMPOST FILTER BERM AND COMPOST BLANKET INSTALLATION NOTES**

- SEE PLAN VIEW FOR:
  - LOCATION OF COMPOST FILTER BERM(S).
  - DIMENSIONS OF COMPOST FILTER BERM(S).
- COMPOST BERMS AND BLANKETS MAY BE USED IN PLACE OF STRAW MULCH OR GEOTEXTILE FABRIC IN AREAS WHERE ACCESS TO LANDSCAPING IS DIFFICULT DUE TO LANDSCAPING OR OTHER OBSTACLES OR IN AREAS WHERE A SMOOTH TURF GRASS FINISH IS DESIRED.
- FILTER BERMS SHALL RUN PARALLEL TO THE CONTOUR.
- FILTER BERMS SHALL BE A MINIMUM OF 1 FEET HIGH AND 2 FEET WIDE.
- FILTER BERMS SHALL BE APPLIED BY PNEUMATIC BLOWER OR BY HAND.
- FILTER BERMS SHALL ONLY BE UTILIZED IN AREAS WHERE SHEET FLOW CONDITIONS PREVAIL AND NOT IN AREAS OF CONCENTRATED FLOW.
- COMPOST BLANKETS SHALL BE APPLIED AT A DEPTH OF 1 - 3 INCHES (TYPICALLY 2 INCHES), FOR AREAS WITH EXISTING VEGETATION THAT ARE TO BE SUPPLEMENTED BY COMPOST. A THIN 0.5-INCH LAYER MAY BE USED.
- SEEDING SHALL BE PERFORMED PRIOR TO THE APPLICATION OF COMPOST. ALTERNATELY, SEED MAY BE COMBINED WITH COMPOST AND BLOWN WITH THE PNEUMATIC BLOWER.
- WHEN TURF GRASS FINISH IS NOT DESIRED, SURFACE ROUGHENING ON SLOPES SHALL TAKE PLACE PRIOR TO COMPOST APPLICATION.
- COMPOST SHALL BE A CLASS 1 COMPOST AS DEFINED BY TABLE CB-1.

| PARAMETERS   | CHARACTERISTIC  |
|--|---|
| MINIMUM STABILITY INDICATOR                                    | STABLE TO VERY STABLE   |
| SCHEURLEER SALTS   | MAXIMUM 5 mmhos/cm  |
| PH   | 6.0 - 8.0   |
| AG INDEX   | > 10  |
| MATURITY INDICATOR EXPRESSED AS PERCENTAGE OF GERMINATION/VGOR | 80+/80+   |
| MATURITY INDICATOR EXPRESSED AS MINIMUM IV INHIBITE IN RATIO   | < 4   |
| MATURITY INDEX AS CARBON TO NITROGEN RATIO                     | 20:1  |
| TESTED FOR CLOPYRALID  | YES/NEGATIVE RESULT   |
| MOISTURE CONTENT   | 30-60%  |
| ORGANIC MATTER CONTENT   | 25-45% OF DRY WEIGHT  |
| PARTICLE SIZE DISTRIBUTION                                     | 3" (75mm) 100% PASSING  |
| PRIMARY, SECONDARY NUTRIENTS; TRACE ELEMENTS                   | MUST BE REPORTED  |
| TESTING AND TEST REPORT SUBMITTAL REQUIREMENTS                 | STA + CLOPYRALID  |
| ORGANIC MATTER PER CUBIC YARD                                  | MUST REPORT   |
| CHEMICAL CONTAMINANTS  | COMPLY WITH US EPA CLASS A STANDARD, 40 CFR 503.1 TABLES 1 & 3 LEVELS   |
| MINIMUM MANUFACTURING/PRODUCTION REQUIREMENT                   | FULLY PERMITTED UNDER COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, HAZARDOUS MATERIALS AND WASTE MANAGEMENT DIVISION |
| RISK FACTOR RELATING TO PLANT GERMINATION AND HEALTH           | LOW   |

**COMPOST FILTER BERM MAINTENANCE NOTES**

- INSPECT Bmps EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF Bmps SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT Bmps AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN Bmps IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE Bmps HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- COMPOST BERMS AND BLANKETS SHALL BE REAPPLIED OR REGRADED AS NECESSARY IF RILLING IN THE COMPOST SURFACE OCCURS.

**NOTE:** MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

### SBB-1. STRAW BALE

**STRAW BALE INSTALLATION NOTES**

- SEE PLAN VIEW FOR:
  - LOCATION(S) OF STRAW BALES.
- STRAW BALES SHALL CONSIST OF CERTIFIED WEED FREE STRAW OR HAY. LOCAL JURISDICTIONS MAY REQUIRE PROOF THAT BALES ARE WEED FREE.
- STRAW BALES SHALL CONSIST OF APPROXIMATELY 5 CUBIC FEET OF STRAW OR HAY AND WEIGH NOT LESS THAN 35 POUNDS.
- WHEN STRAW BALES ARE USED IN SERIES AS A BARRIER, THE END OF EACH BALE SHALL BE TIGHTLY ABUTTING ONE ANOTHER.
- STRAW BALE DIMENSIONS SHALL BE APPROXIMATELY 36"x18"x18".
- A UNIFORM ANCHOR TRENCH SHALL BE EXCAVATED TO A DEPTH OF 4". STRAW BALES SHALL BE PLACED SO THAT BINDING TWINE IS ENCOMPASSING THE VERTICAL SIDES OF THE BALES. ALL EXCAVATED SOIL SHALL BE PLACED ON THE UPHILL SIDE OF THE STRAW BALES) AND COMPACTED.
- TWO (2) WOODEN STAKES SHALL BE USED TO HOLD EACH BALE IN PLACE. WOODEN STAKES SHALL BE 2"x2"x24". WOODEN STAKES SHALL BE DRIVEN 6" INTO THE GROUND.

**STRAW BALE MAINTENANCE NOTES**

- INSPECT Bmps EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF Bmps SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT Bmps AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN Bmps IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE Bmps HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- STRAW BALES SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED, ROTTEN, OR DAMAGED BEYOND REPAIR.
- SEDIMENT ACCUMULATED UPSTREAM OF STRAW BALE BARRIER SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BARRIER. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 1/2 OF THE HEIGHT OF THE STRAW BALE BARRIER.
- STRAW BALES ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
- WHEN STRAW BALES ARE REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

**NOTE:** MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

### CIP-1. CULVERT INLET PROTECTION

**CULVERT INLET PROTECTION PLAN**

**CULVERT INLET PROTECTION INSTALLATION NOTES**

- SEE PLAN VIEW FOR:
  - LOCATION OF CULVERT INLET PROTECTION.
- SEE ROCK SOCK DESIGN DETAIL FOR ROCK GRADATION REQUIREMENTS AND JOINTING DETAIL.

**CULVERT INLET PROTECTION MAINTENANCE NOTES**

- INSPECT Bmps EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF Bmps SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT Bmps AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN Bmps IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE Bmps HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- SEDIMENT ACCUMULATED UPSTREAM OF THE CULVERT SHALL BE REMOVED WHEN THE SEDIMENT DEPTH IS 1/2 OF THE HEIGHT OF THE ROCK SOCK.
- CULVERT INLET PROTECTION SHALL REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS PERMANENTLY STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.

**NOTE:** MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

### SCL-1. SEDIMENT CONTROL LOG

**SEDIMENT CONTROL LOG INSTALLATION NOTES**

- SEE PLAN VIEW FOR LOCATION AND LENGTH OF SEDIMENT CONTROL LOGS.
- SEDIMENT CONTROL LOGS THAT ACT AS A PERIMETER CONTROL SHALL BE INSTALLED PRIOR TO ANY UPSTREAM LAND-DISTURBING ACTIVITIES.
- SEDIMENT CONTROL LOGS SHALL CONSIST OF STRAW, COMPOST, EXCELISOR OR COCOONUT FIBER, AND SHALL BE FREE OF ANY NOXIOUS WEED SEEDS OR DEFECTS INCLUDING RIPS, HOLES AND OBVIOUS WEAR.
- SEDIMENT CONTROL LOGS MAY BE USED AS SMALL CHECK DAMS IN DITCHES AND SWALES. HOWEVER, THEY SHOULD NOT BE USED IN PERENNIAL STREAMS OR HIGH VELOCITY DRAINAGE WAYS.
- IT IS RECOMMENDED THAT SEDIMENT CONTROL LOGS BE TRENCHED INTO THE GROUND TO A DEPTH OF APPROXIMATELY 1/2 OF THE DIAMETER OF THE LOG. IF TRENCHING TO THIS DEPTH IS NOT FEASIBLE AND/OR DESIRABLE (SHORT TERM INSTALLATION WITH DESIRE NOT TO DAMAGE LANDSCAPE) A LESSER TRENCHING DEPTH MAY BE ACCEPTABLE WITH MORE ROBUST STAKING.
- THE UPHILL SIDE OF THE SEDIMENT CONTROL LOG SHALL BE BACKFILLED WITH SOIL THAT IS FREE OF ROCKS AND DEBRIS. THE SOIL SHALL BE TIGHTLY COMPACTED INTO THE SHAPE OF A RIGHT TRIANGLE USING A SHOVEL OR WEIGHTED LAWN ROLLER.
- FOLLOW MANUFACTURERS' GUIDANCE FOR STAKING. IF MANUFACTURERS' INSTRUCTIONS DO NOT SPECIFY SPACING, STAKES SHALL BE PLACED ON 4' CENTERS AND EMBEDDED A MINIMUM OF 4" INTO THE GROUND. 3" OF THE STAKE SHALL PROTRUDE FROM THE TOP OF THE LOG. STAKES THAT ARE BROKEN PRIOR TO INSTALLATION SHALL BE REPLACED.

**SEDIMENT CONTROL LOG MAINTENANCE NOTES**

- INSPECT Bmps EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF Bmps SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT Bmps AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN Bmps IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE Bmps HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- SEDIMENT ACCUMULATED UPSTREAM OF SEDIMENT CONTROL LOG SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 1/2 OF THE HEIGHT OF THE SEDIMENT CONTROL LOG.
- SEDIMENT CONTROL LOG SHALL BE REMOVED AT THE END OF CONSTRUCTION. IF DISTURBED AREAS EXIST AFTER REMOVAL, THEY SHALL BE COVERED WITH TOP SOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

**NOTE:** MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

### SF-1. SILT FENCE

**SILT FENCE INSTALLATION NOTES**

- SILT FENCE MUST BE PLACED AWAY FROM THE TOE OF THE SLOPE TO ALLOW FOR WATER PONDING. SILT FENCE AT THE TOE OF A SLOPE SHOULD BE INSTALLED IN A FLAT LOCATION AT LEAST SEVERAL FEET (2-5 FT) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR PONDING AND DEPOSITION.
- A UNIFORM 6" x 4" ANCHOR TRENCH SHALL BE EXCAVATED USING TRENCHER OR SILT FENCE INSTALLATION DEVICE. NO ROAD GRADERS, BACKHOES, OR SIMILAR EQUIPMENT SHALL BE USED.
- COMPACT ANCHOR TRENCH BY HAND WITH A "JUMPING JACK" OR BY WHEEL ROLLING. COMPACTION SHALL BE SUCH THAT SILT FENCE RESISTS BEING PULLED OUT OF ANCHOR TRENCH BY HAND.
- SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD BE NO NOTICEABLE SAG BETWEEN STAKES AFTER IT HAS BEEN ANCHORED TO THE STAKES.
- SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 1" HEAVY DUTY STAPLES OR NAILS WITH 1" HEADS. STAPLES AND NAILS SHOULD BE PLACED 3" ALONG THE FABRIC DOWN THE STAKE.
- AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A "J-HOOK". THE "J-HOOK" SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A "J-HOOK". THE "J-HOOK" SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A "J-HOOK". THE "J-HOOK" SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A "J-HOOK".
- SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.

**SILT FENCE MAINTENANCE NOTES**

- INSPECT Bmps EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF Bmps SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT Bmps AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN Bmps IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE Bmps HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHALL BE REMOVED AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 1/2 OF THE HEIGHT OF THE SILT FENCE.
- REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR, SUCH AS SAGGING, TEARING, OR COLLAPSE.
- SILT FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION, OR IS REPLACED BY AN EQUIVALENT PERIMETER SEDIMENT CONTROL BMP.
- WHEN SILT FENCE IS REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

**NOTE:** MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

### MU Mulching Installation Notes

**MULCHING INSTALLATION NOTES**

- SEE PLAN VIEW FOR:
  - LOCATION OF MULCHING
- MULCHING SHALL BE COMPLETED WITHIN 21 DAYS OF INITIAL DISTURBANCE OR WITHIN 7 DAYS AFTER GRADING IS SUBSTANTIALLY COMPLETE.
- MATERIAL USED FOR MULCH SHALL BE CERTIFIED CLEAN, WEED- AND SEED-FREE LONG STEMMED FIELD OR MARSH HAY, OR STRAW OF OATS, BARLEY, WHEAT, RYE, OR TRITICALE CERTIFIED BY THE COLORADO DEPARTMENT OF AGRICULTURE WEED FREE FORAGE CERTIFICATION PROGRAM.
- HYDRAULIC MULCHING MATERIAL SHALL CONSIST OF VIRGIN WOOD FIBRE MANUFACTURED FROM CLEAN WHOLE WOOD CHIPS. WOOD CHIPS CANNOT CONTAIN ANY GROWTH OR GERMINATION INHIBITORS OR BE PRODUCED FROM RECYCLED MATERIAL.
- MULCH IS TO BE ANCHORED EITHER BY GRIMPING, USING NETTING, OR WITH A NON-TOXIC TACKIFIER.
- HYDRAULIC MULCHING AND TACKIFIERS ARE NOT TO BE USED IN AN AREA THAT DRAINS DIRECTLY INTO FREE SURFACE WATER SUCH AS A LAKE, STREAM OR RIVER.

**MULCHING MAINTENANCE NOTES**

- THE SWMP MANAGER SHALL INSPECT RECENTLY MULCHED AREAS TO INSURE MULCH HAS BEEN EVENLY DISTRIBUTED AND PROPERLY ANCHORED.
- AREAS WHERE MULCH HAS BEEN REMOVED SHALL BE RE-MULCHED IMMEDIATELY AND RE-SEEDING IF NECESSARY.
- MULCHED AREAS ARE NOT TO BE DRIVEN OVER WITH CONSTRUCTION EQUIPMENT OR VEHICLES.

### CF-1. PLASTIC MESH CONSTRUCTION FENCE

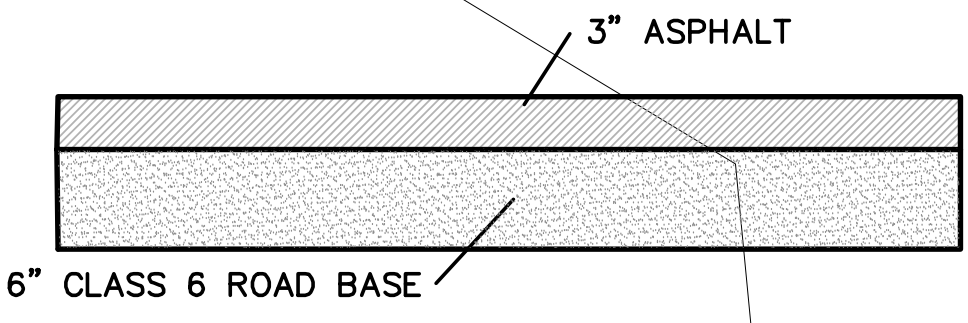
**CONSTRUCTION FENCE INSTALLATION NOTES**

- SEE PLAN VIEW FOR:
  - LOCATION OF CONSTRUCTION FENCE.
- CONSTRUCTION FENCE SHOWN SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- CONSTRUCTION FENCE SHALL BE COMPOSED OF ORANGE, CONTRACTOR-GRADE MATERIAL THAT IS AT LEAST 4' HIGH. METAL POSTS SHOULD HAVE A PLASTIC CAP FOR SAFETY.
- STUDDED STEEL TEE POSTS SHALL BE UTILIZED TO SUPPORT THE CONSTRUCTION FENCE. MAXIMUM SPACING FOR STEEL TEE POSTS SHALL BE 10'.
- CONSTRUCTION FENCE SHALL BE SECURELY FASTENED TO THE TOP, MIDDLE, AND BOTTOM OF EACH POST.

**CONSTRUCTION FENCE MAINTENANCE NOTES**

- INSPECT Bmps EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF Bmps SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT Bmps AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN Bmps IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE Bmps HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- CONSTRUCTION FENCE SHALL BE REPAIRED OR REPLACED WHEN THERE ARE SIGNS OF DAMAGE SUCH AS RIPS OR SAGS. CONSTRUCTION FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
- WHEN CONSTRUCTION FENCES ARE REMOVED, ALL DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE AND/OR REMOVAL OF THE FENCE SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED, OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

**NOTE:** MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.



PAVEMENT SECTION SHALL BE  
 3" ASPHALT ON 6" OF ROAD BASE  
 SEE GEOTECHNICAL RECOMMENDATIONS  
 FOR COMPACTION REQUIREMENTS  
 SECTION TO BE FIELD VERIFIED BY  
 GEOTECHNICAL ENGINEER

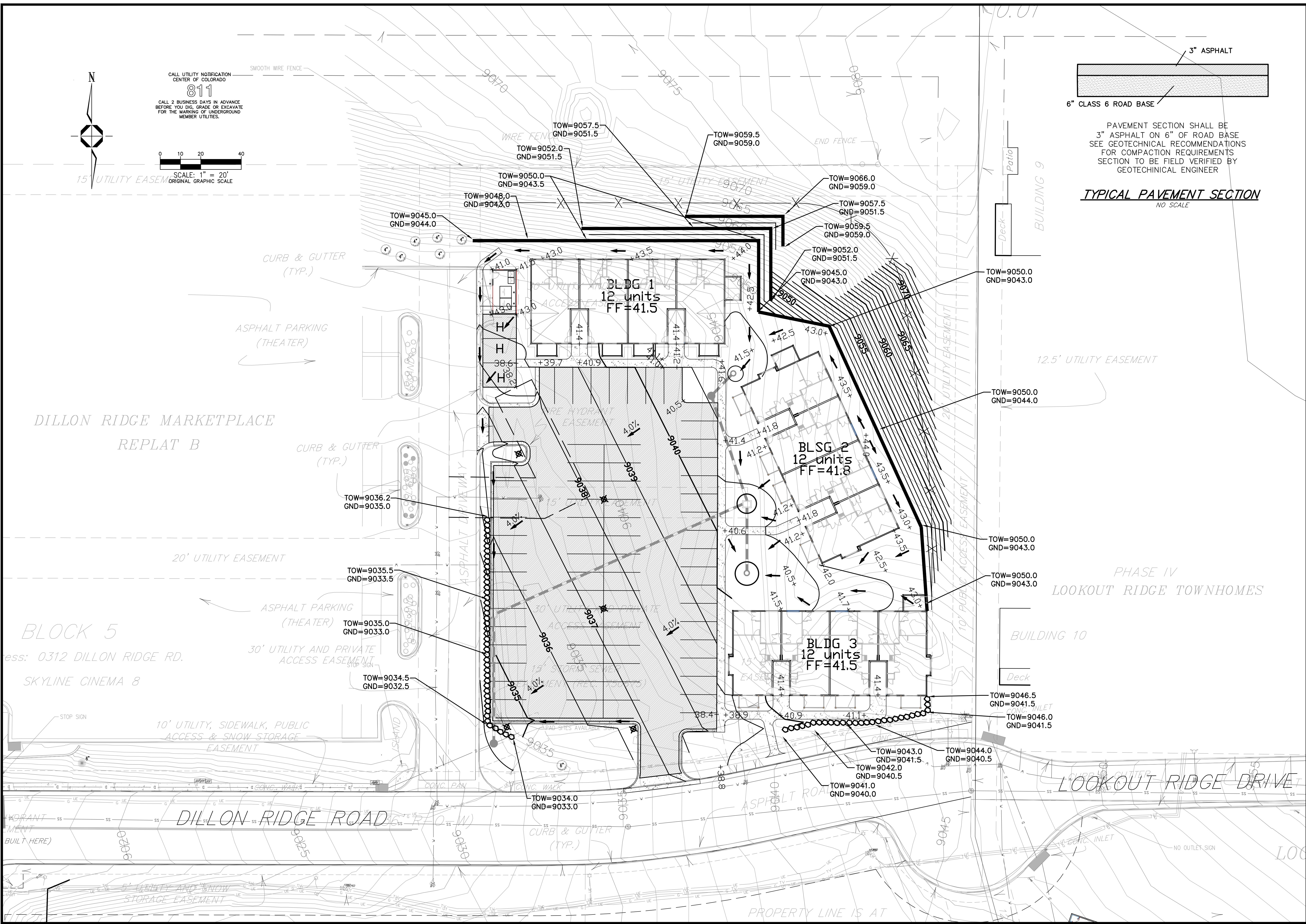
**TYPICAL PAVEMENT SECTION**  
 NO SCALE

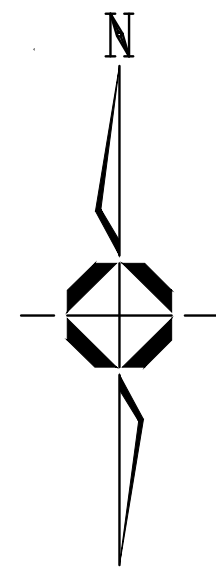
| No. | Revision/Issue | Date   | Revised per | Description |
|-----|----------------|--------|-------------|-------------|
| 1   |                | 6/6/17 | TOD         | Comments    |

**TEN MILE ENGINEERING, INC.**  
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 Frisco, CO 80443  
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**DILLON RIDGE VISTAS**  
**BLOCK 6 DILLON RIDGE MARKETPLACE**  
 TOWN OF DILLON, COLORADO  
**OVERALL GRADING PLAN**

|                              |          |
|------------------------------|----------|
| Project: DILLON RIDGE VISTAS |          |
| Date: 4/7/17                 | Sheet: 8 |
| Scale: 1"=20'                |          |



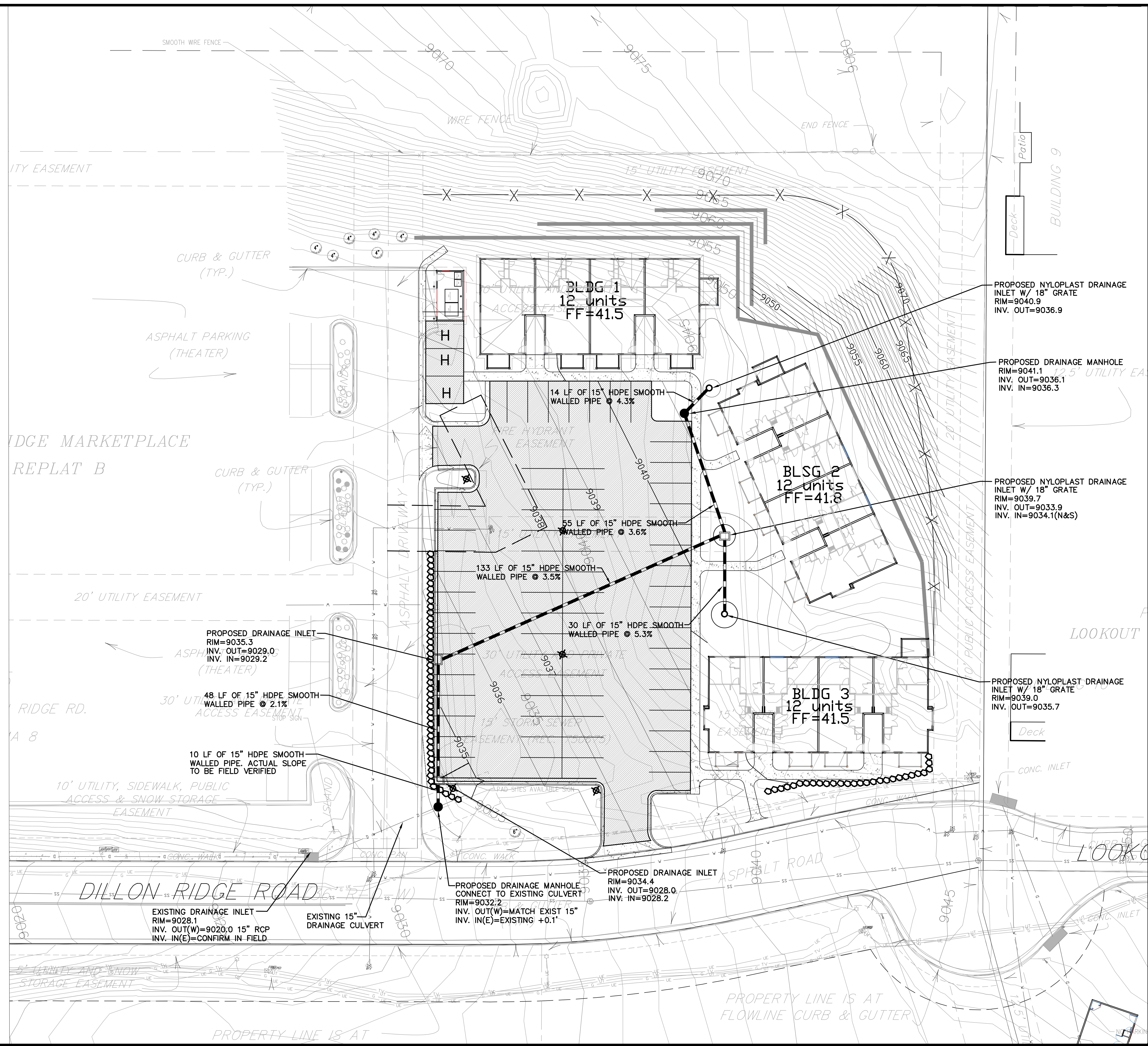


CALL UTILITY NOTIFICATION  
CENTER OF COLORADO  
**811**  
CALL 2 BUSINESS DAYS IN ADVANCE  
BEFORE YOU DIG, GRADE OR EXCAVATE  
FOR THE MARKING OF UNDERGROUND  
MEMBER UTILITIES.

0 10 20 40  
SCALE: 1" = 20'  
ORIGINAL GRAPHIC SCALE

**LEGEND**

- SANITARY MANHOLE
- RIPRAP
- STORM INLET
- STORM FES
- STORM MANHOLE
- WATER FIRE HYDRANT
- WATER MANHOLE
- WATER VALVE
- WATER STOPBOX
- ELECTRIC BREAKER BOX
- ELECTRIC METER
- ELECTRIC MKR
- ELECTRIC PEDESTAL
- LIGHT POLE
- ELECTRIC VAULT
- TELEPHONE PEDESTAL
- FIBER OPTIC MKR
- FIBER OPTICS PEDESTAL
- GAS MKR POST
- IRRIGATION CONTROL BOX
- IRRIGATION VALVE
- VENT PIPE
- BUSH EVERGREEN
- BUSH DECIDUOUS
- TREE CONIFER
- TREE DECIDUOUS
- HANDICAP RAMP
- TRAFFIC CONTROL CABINET
- TRAFFIC CONTROL VAULT
- TRAFFIC SIGNAL
- DELINEATOR
- SIGN
- ELECTRIC UNDERGROUND
- TELEPHONE LINE UNDERGROUND
- FIBER OPTIC UNDERGROUND
- CABLE TV UNDERGROUND
- GAS LINE UNDERGROUND
- STORM REINFORCED CONCRETE PIPE
- WATER LINE UNDERGROUND
- SANITARY UNDERGROUND
- FENCE
- LANDSCAPE EDGE
- TREELINE
- CROWN ROAD
- EDGE ASPHALT
- EDGE CONCRETE
- TRAIL
- CHASE
- PAN FLOWLINE
- LINEMARKING WHITE STRIPE SOLID
- LINEMARKING YELLOW STRIPE SOLID
- GUARD RAIL
- SPEED BUMP
- STEPS
- STRUCTURE
- HANDRAIL
- WALL
- CONCRETE
- ASPHALT PAVEMENT

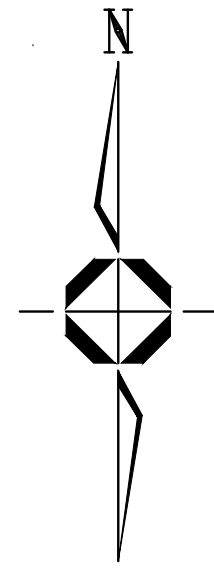


| No. | Revision/Issue | Date   | Revised per TOD Comments |
|-----|----------------|--------|--------------------------|
| 1   |                | 6/6/17 |                          |

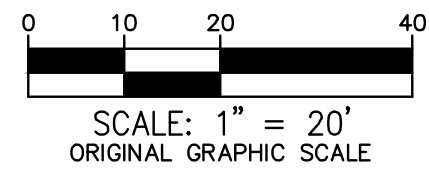
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**DILLON RIDGE VISTAS**  
**BLOCK 6 DILLON RIDGE MARKETPLACE**  
TOWN OF DILLON, COLORADO  
**DRAINAGE PLAN**

|                                |            |
|--------------------------------|------------|
| Project<br>DILLON RIDGE VISTAS |            |
| Date<br>4/7/17                 | Sheet<br>9 |
| Scale<br>1"=20'                |            |



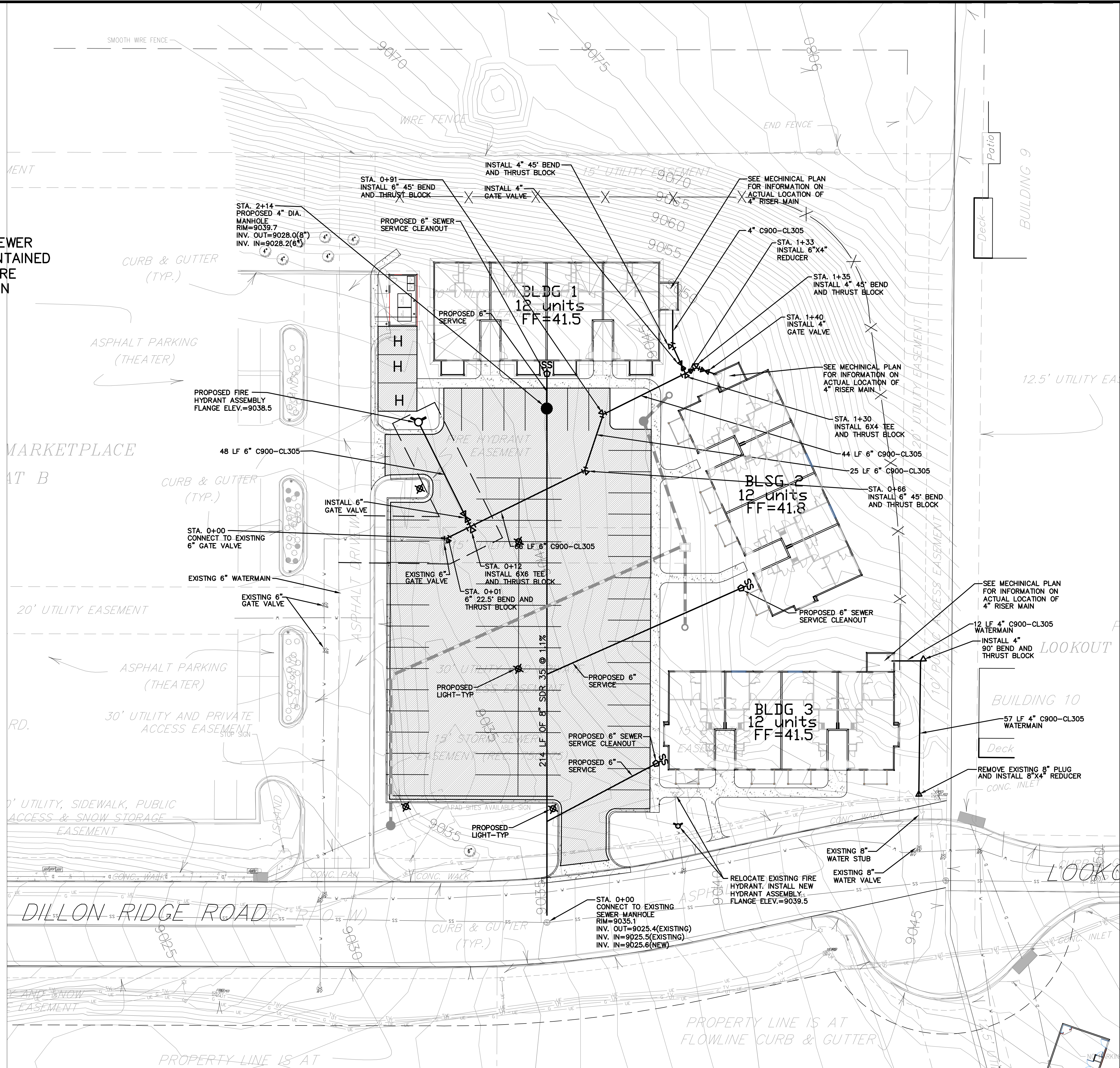
CALL UTILITY NOTIFICATION  
CENTER OF COLORADO  
**811**  
CALL 2 BUSINESS DAYS IN ADVANCE  
BEFORE YOU DIG, GRADE OR EXCAVATE  
FOR THE MARKING OF UNDERGROUND  
MEMBER UTILITIES.



NOTE: ALL WATER, SANITARY SEWER AND STORM SEWER SHOWN ON THE PLANS ARE PRIVATE AND TO BE MAINTAINED BY THE PROPERTY OWNER WITH EXCEPTION OF THE FIRE HYDRANT LATERAL AND FIRE HYDRANT LOCATED WITHIN THE 20' UTILITY EASEMENT

**LEGEND**

- SANITARY MANHOLE
- RIPRAP
- STORM INLET
- STORM FES
- STORM MANHOLE
- WATER FIRE HYDRANT
- WATER MANHOLE
- WATER VALVE
- WATER STOPBOX
- ELECTRIC BREAKER BOX
- ELECTRIC MTR
- ELECTRIC MKR
- ELECTRIC PEDESTAL
- LIGHT POLE
- ELECTRIC VAULT
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- FIBER OPTIC MKR
- FIBER OPTICS PEDESTAL
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- TRAFFIC CONTROL VAULT
- TRAFFIC SIGNAL
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- TELEPHONE LINE UNDERGROUND
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- CABLE TV UNDERGROUND
- GAS LINE UNDERGROUND
- STORM REINFORCED CONCRETE PIPE
- WATER LINE UNDERGROUND
- SANITARY UNDERGROUND
- FENCE
- LANDSCAPE EDGE
- TREELINE
- CROWN ROAD
- EDGE ASPHALT
- EDGE CONCRETE
- TRAIL
- CHASE
- PAN FLOWLINE
- LINEMARKING WHITE STRIPE SOLID
- LINEMARKING YELLOW STRIPE SOLID
- GUARD RAIL
- SPEED BUMP
- STEPS
- STRUCTURE
- HANDRAIL
- WALL
- CONCRETE
- ASPHALT PAVEMENT

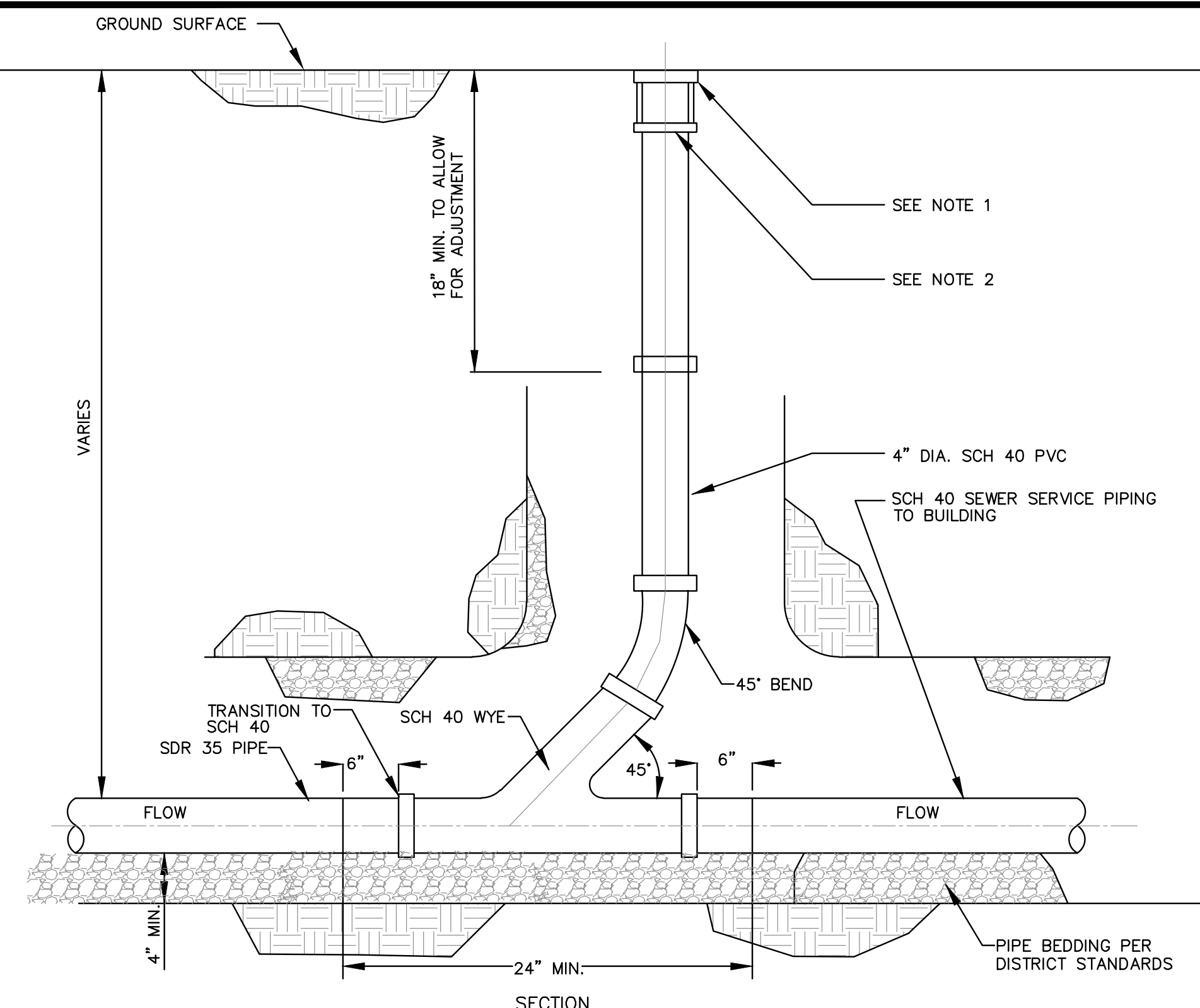


| No. | Revision/Issue | Date   | Revised per TOD | Description |
|-----|----------------|--------|-----------------|-------------|
| 1   |                | 6/6/17 |                 |             |

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**DILLON RIDGE VISTAS**  
**BLOCK 6 DILLON RIDGE MARKETPLACE**  
TOWN OF DILLON, COLORADO  
**OVERALL UTILITY PLAN**

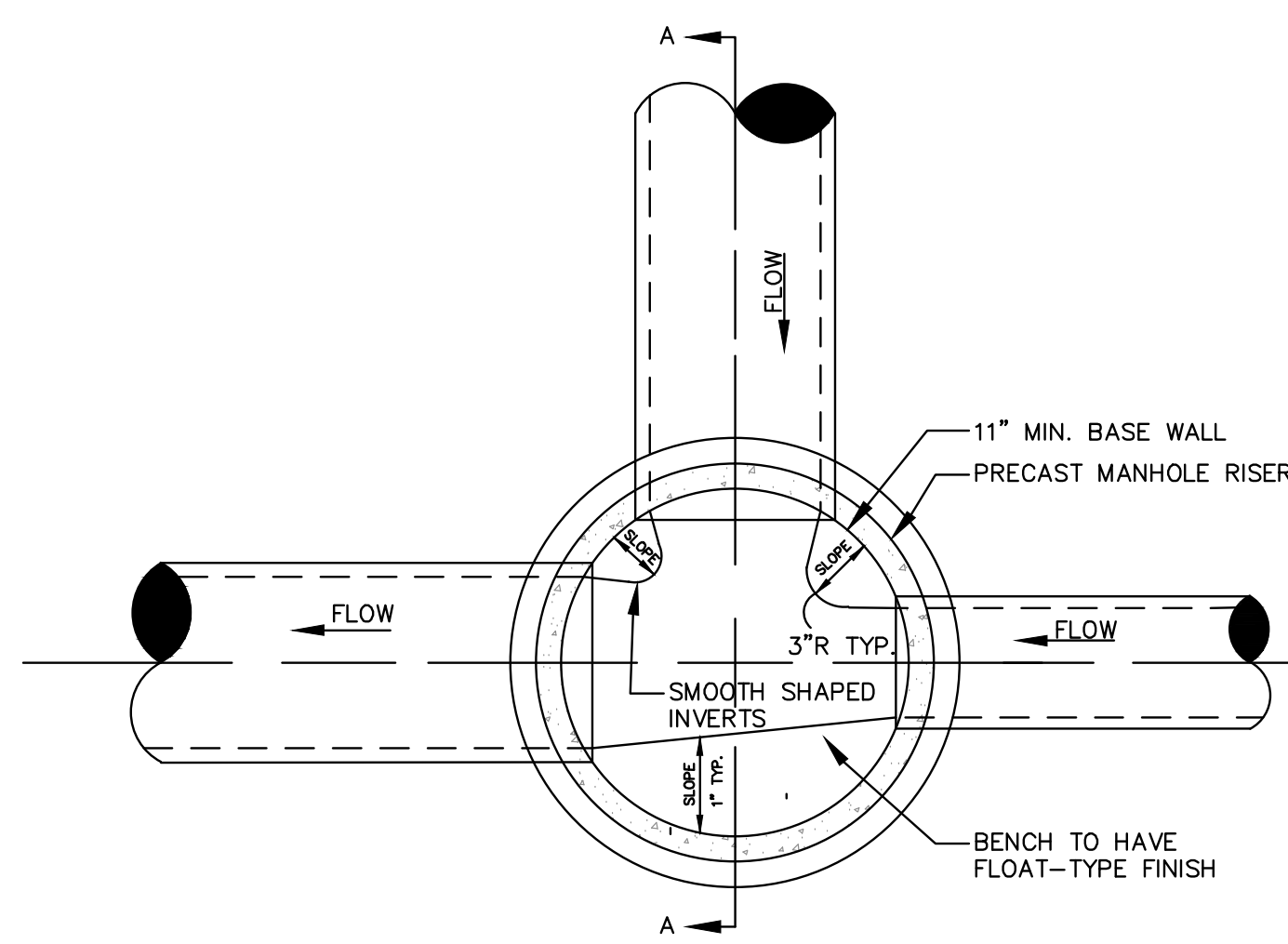
|                                |             |
|--------------------------------|-------------|
| Project<br>DILLON RIDGE VISTAS |             |
| Date<br>4/7/17                 | Sheet<br>10 |
| Scale<br>1"=20'                |             |



**NOTES:**

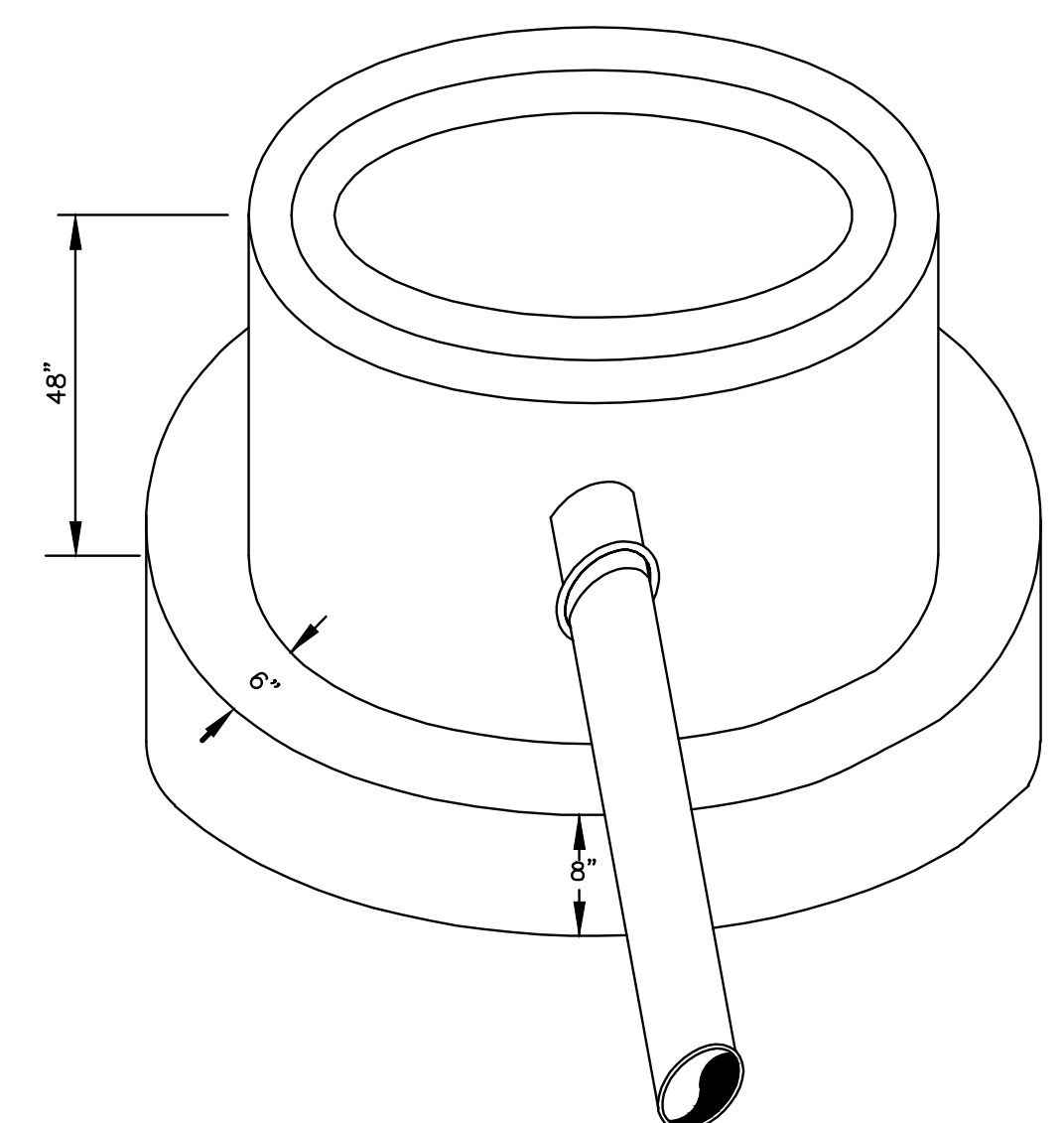
- 1 - TYLER SERIES 6855 SLIP TYPE VALVE BOX TOP SECTION WITH LOCKING LID MARKED "SEWER".
- 2 - 4" PVC SCH 40 BY THREADED ADAPTOR WITH THREADED PLUG.
- 3 - CLEAN OUT FITTINGS AND PIPING TO BE SCH 40.
- 4 - CLEAN OUT REQUIRED 5' OUTSIDE / AWAY FROM BUILDING.
- 5 - CLEAN OUT REQUIRED AT EVERY 100' SPACING IN SERVICE LINE BEFORE MAIN.
- 6 - CONTRACTOR TO COORDINATE WITH SEWER AND BUILDING DEPARTMENT FOR ADDITIONAL REQUIREMENTS AND CODES.
- 7 - ALL SCH 40 FITTINGS SHALL BE GLUED.

**TYP. SEWER SERVICE CLEAN OUT**

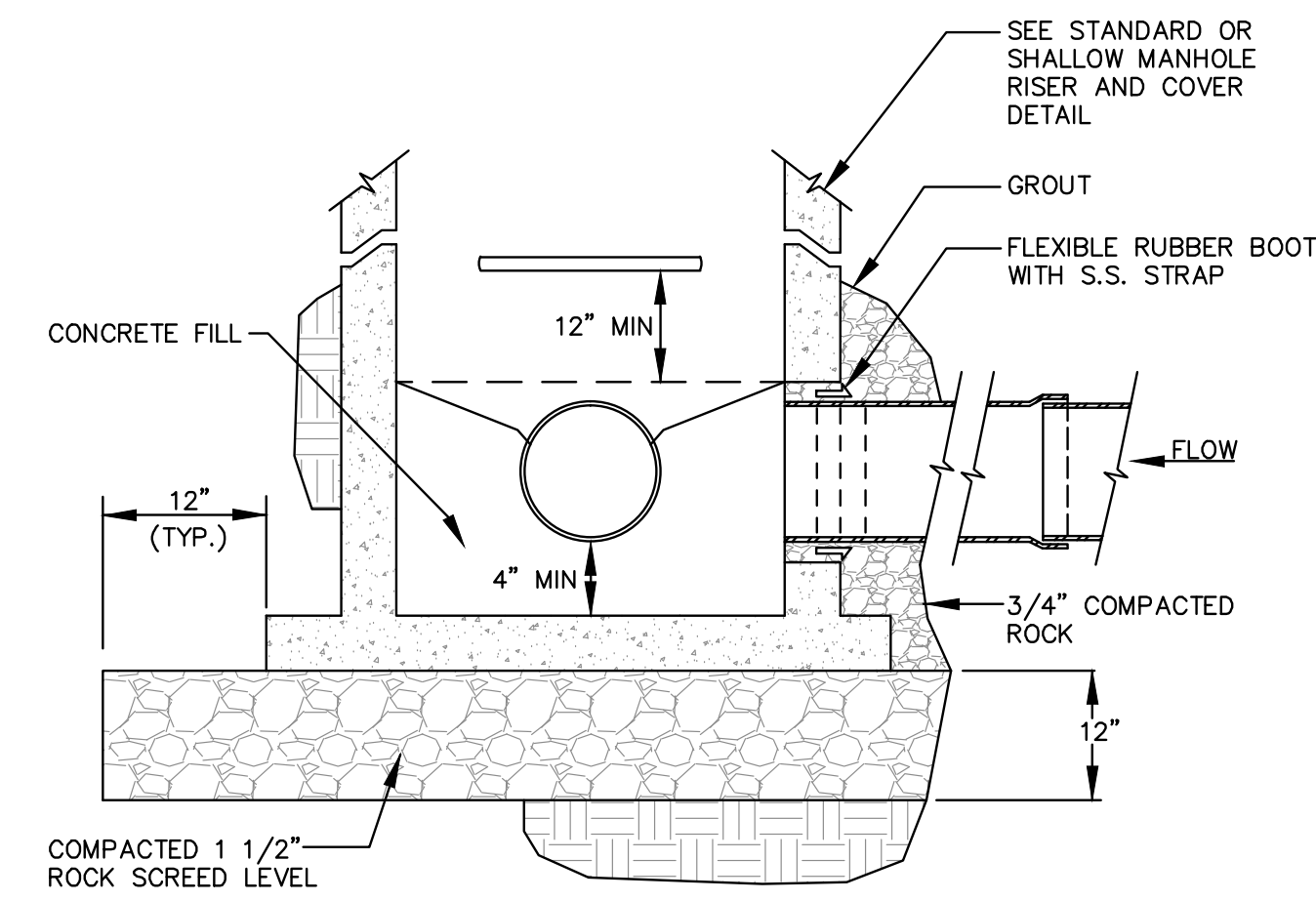


**NOTES:**

- 1 - CONCRETE BASE AND/OR INTERIOR CONCRETE FILL SHALL BE MINIMUM 4000 PSI CONCRETE.
- 2 - SEE CAST-IN-PLACE OR PRE CAST CONCRETE MANHOLE BASE FOR SECTIONS A-A AND B-B.



**PRECAST CONCRETE MANHOLE BASE**

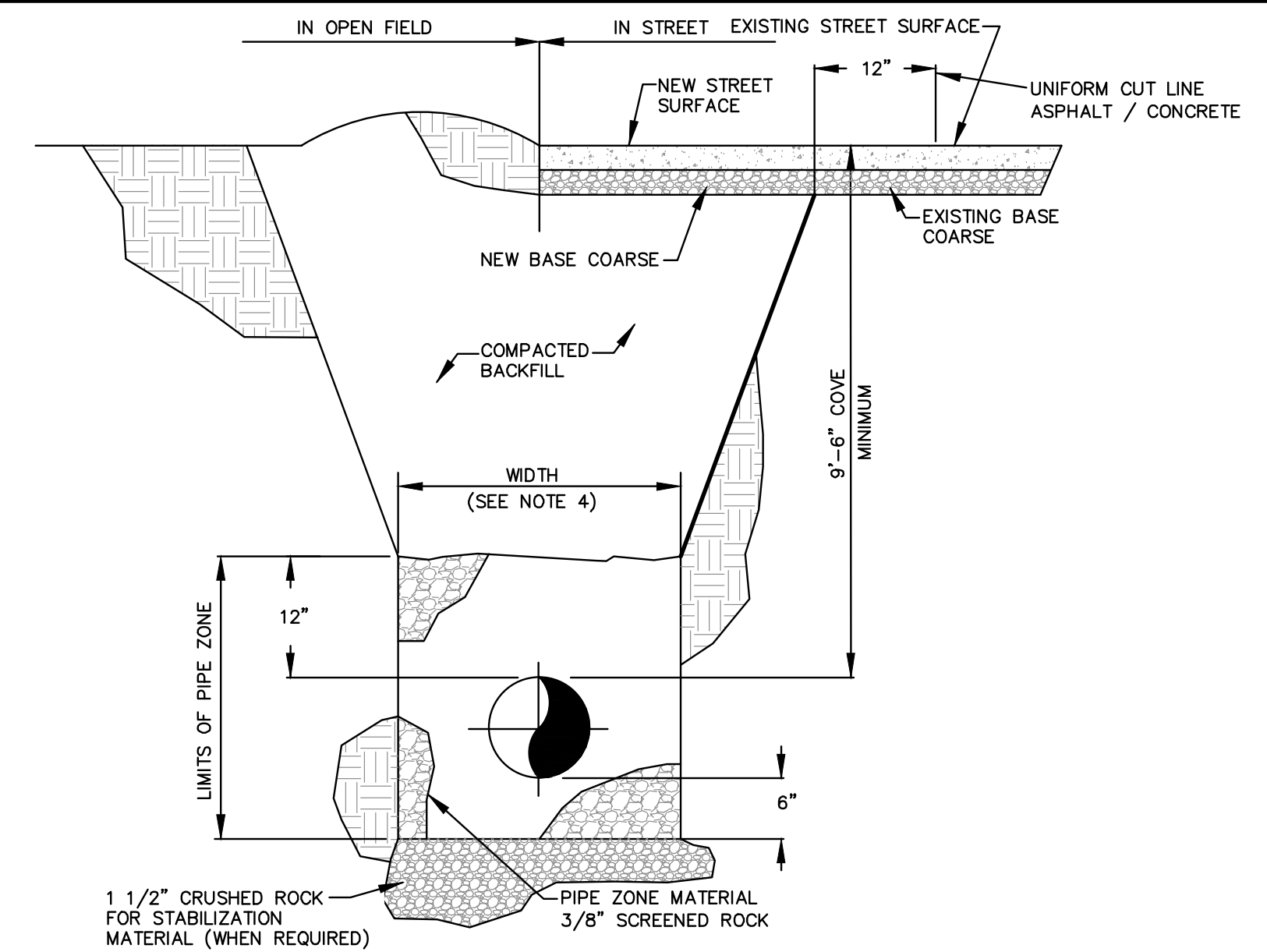


**SECTION A-A**

**NOTES:**

- 1 - PRECAST CONCRETE SHALL MEET OR EXCEED STRENGTH OF 4000 PSI.
- 2 - APPLY LATEX BONDING AGENT TO PRECAST BASE SECTION BEFORE PLACING CONCRETE FILL BASE AND INVERTS.

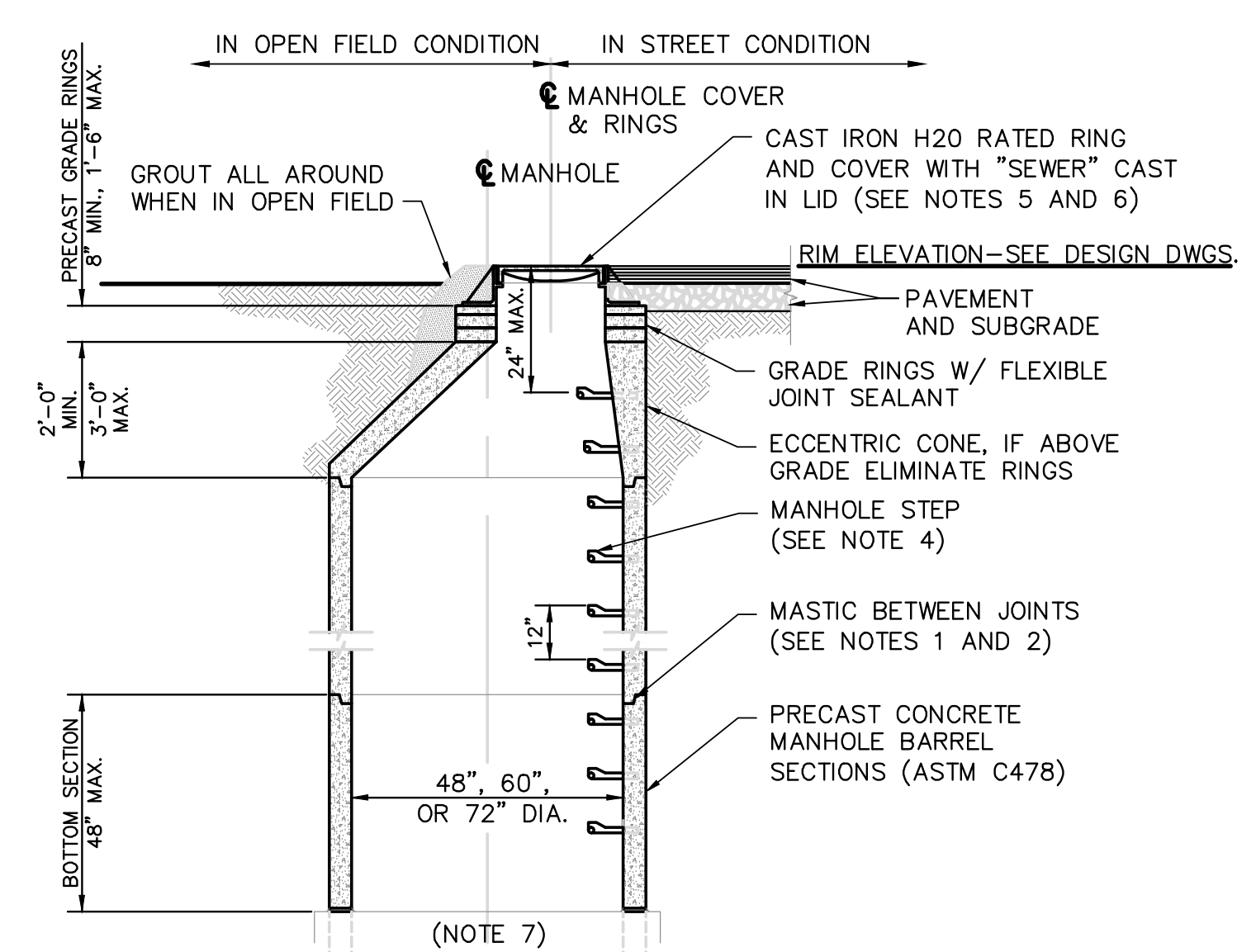
**MANHOLE BASE INTERIOR**



**TYPICAL SEWER/WATER TRENCH SECTION**

**NOTES:**

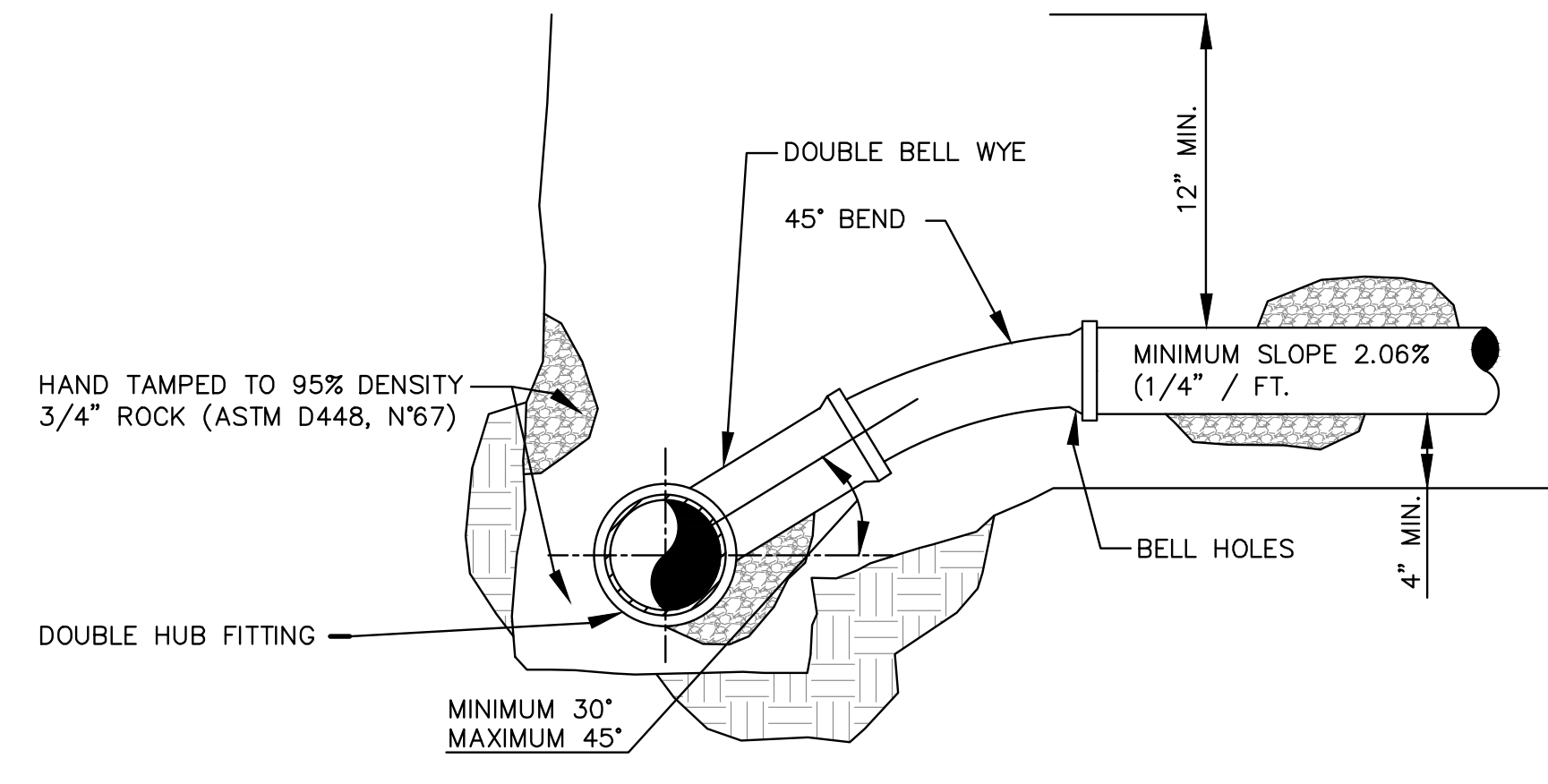
- 1 - ASPHALT PATCH SHALL BE A MINIMUM OF 3" ASPHALT ON 6" ROAD BASE OR, SHALL MATCH EXISTING PAVEMENT SECTION, WHICHEVER IS GREATER.
- 2 - TRENCH WALLS TO BE SUPPORTED AS REQUIRED BY O.S.H.A.
- 3 - MINIMUM COVER TO BE BELOW STREET FINISH GRADE OR GROUND SURFACE.
- 4 - MINIMUM TRENCH WIDTH = PIPE O.D. + 12" MAXIMUM TRENCH WIDTH = PIPE O.D. + 40" MAXIMUM TRENCH WIDTH IF TRENCH BOX REQUIRED = 60"
- 5 - UTILITY TRENCH BACKFILL BENEATH PAVED AREAS SHOULD BE PLACES IN 8" HORIZONTAL LIFTS AND COMPACTED TO AT LEAST 95% OF MAXIMUM STANDARD PROCTOR (ASTM D-698) DRY DENSITY AT A MOISTURE CONTENT WITHIN 3% OF OPTIMUM. WATER SEEPAGE SHOULD BE EXPECTED IN DEEPER EXCAVATIONS AND DEWATERING WILL BE REQUIRED TO KEEP TRENCH AND BACKFILL DRY AT ALL TIMES.



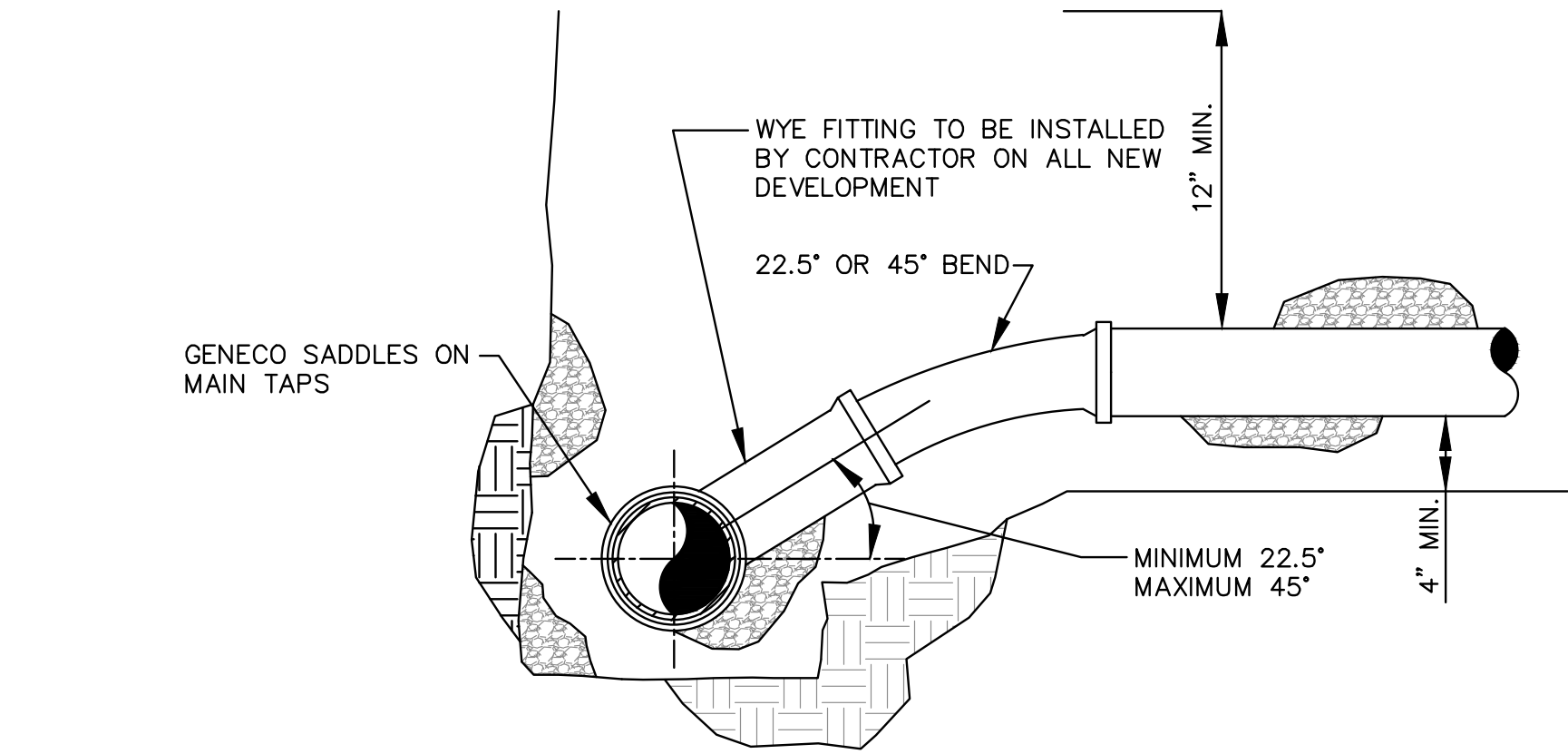
**NOTES:**

1. ALL JOINTS TO BE DOUBLE BAND RUB-R-NEK.
2. ALL JOINTS SHALL BE DOUBLE SEALED WITH FLEXIBLE PLASTIC JOINT SEALING MATERIAL TO EXTRUDE INTO MANHOLE AND BE TRIMMED OFF AT FACE OF CONCRETE BELOW WATER TABLE.
3. ALL MANHOLES PLACED IN "OPEN SPACE" OR FIELDS SHALL BE INSTALLED WITH A RING AND COVER THAT IS 6" ABOVE FINAL GRADE WITH A COLLAR OF CONCRETE. A MARKER POST SHALL BE INSTALLED NEAR BY. SEE MARKER POST DETAIL.
4. STEPS INSTALLED OVER DOWNSTREAM INVERT OF MANHOLE AND SHALL BE COPOLYMER COATED PLASTIC 1/2" GRADE 60 STEEL REINFORCED, SIMILAR TO PS2-PF MANUFACTURED BY MA INDUSTRIES.
5. 60" OR LARGER MANHOLES REQUIRE A 30" OPENING.
6. ALL RING AND COVERS TO BE CASTINGS, INC. J-1161 FOR 24" OPENINGS OR J-1361 FOR 30" OPENINGS.
7. SEE EITHER CAST IN PLACE OR PRECAST MANHOLE BASE DETAIL.
8. AVOID 12" HIGH BARREL SECTIONS IF POSSIBLE.
9. WRAP ALL BARREL SECTIONS AND CONE WITH BITUTHANE WRAP - 6" OVERLAP REQUIRED.

**MANHOLE SECTION W/ ECCENTRIC CONE**



**45° BEND CONNECTION TO WYE**



**45° BEND CONNECTION TO TAPPING SADDLE**

**NOTES:**

- 1 - SEWER SERVICE TO BE ASTM 3034, SDR26 PVC PIPE.
- 2 - ALL SERVICE LINES SHALL BE INSPECTED BY TOWN PERSONNEL DURING INSTALLATION AND APPROVED BEFORE BACKFILLED.

|        |                                      |
|--------|--------------------------------------|
|        |                                      |
| 1      | FINAL SITE PLAN/PLAT                 |
| 4/7/17 | Date                                 |
| 1      | TOD FINAL SITE PLAN & PLAT SUBMITTAL |
| No.    | Description                          |

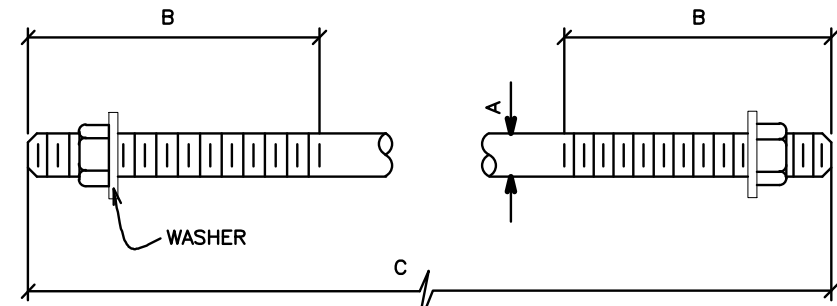
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**DILLON RIDGE VISTAS**  
**BLOCK 6 DILLON RIDGE MARKETPLACE**  
TOWN OF DILLON, COLORADO  
**SEWER DETAILS**

|                                |             |
|--------------------------------|-------------|
| Project<br>DILLON RIDGE VISTAS |             |
| Date<br>4/7/17                 | Sheet<br>11 |
| Scale<br>NTS                   |             |

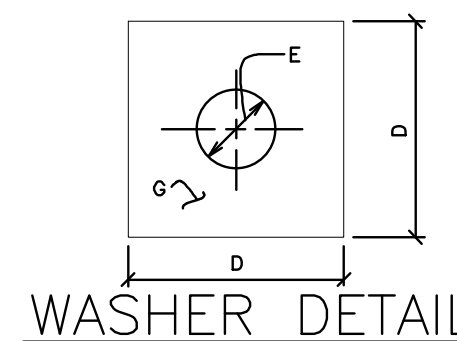
**RESTRAINING RODS**

| SIZE OF PIPE | 6"   | 8"   | 12"  |
|--------------|------|------|------|
| 90'          | 5/8" | 3/4" | 1"   |
| 45'          | 1/2" | 1/2" | 5/8" |
| 22 1/2'      | 1/2" | 1/2" | 1/2" |
| 11 1/4'      | 1/2" | 1/2" | 1/2" |



TIE ROD DETAILS

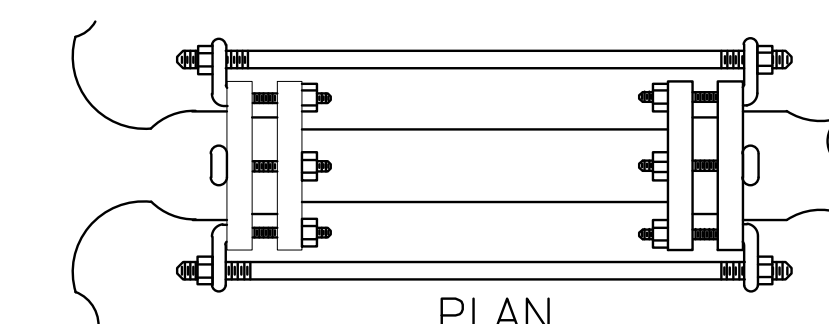
- NOTE:  
 1.) SEE TIED JOINTS, ROD DIMENSIONS SHEET.  
 2.) SEE CLAMP DETAILS AND DIMENSIONS FOR PROPER PLACEMENT OF WASHERS.  
 3.) ALL RODS AND BOLTS SHALL BE CORTEN OR STAINLESS STEEL



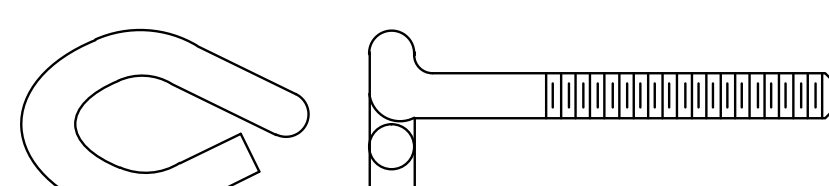
WASHER DETAIL

| TIE RODS     |            |                 |       | WASHERS |                        |           |
|--------------|------------|-----------------|-------|---------|------------------------|-----------|
| A            | B          | C               |       | D       | E                      | G         |
| ROD DIAMETER | ROD LENGTH | ROD LENGTH      | GRADE | WIDTH   | HOLE DIAMETER          | THICKNESS |
| 3/4", 1"     | 6"         | 1' TO 11' & 20' | MS    | 5"      | 1/8" Larger than Rod Ø | 1/2"      |
| 3/4", 1-1/2" | ALL THREAD | 1' TO 11' & 20' | HS    | 6"      | 1/8" Larger than Rod Ø | 5/8"      |

**TIE ROD AND WASHER DETAILS**



PLAN



**DETAIL DIMENSIONS**

| ALLOWABLE PIPE DIAMETER INCHES | BOLT SIZE | NO. OF BOLTS REQUIRED |
|--------------------------------|-----------|-----------------------|
| 4                              | 3/4"      | 2                     |
| 6                              | 3/4"      | 2                     |
| 8                              | 3/4"      | 2                     |
| 10                             | 3/4"      | 4                     |
| 12                             | 3/4"      | 6                     |

- NOTES:  
 1 - THE BOLT SHALL BE MANUFACTURED OF "COR-TEN" OR APPROVED EQUAL.  
 2 - THE BOLT MAY BE HEAT TREATED.

**SECONDARY JOINT RESTRAINT DETAIL**

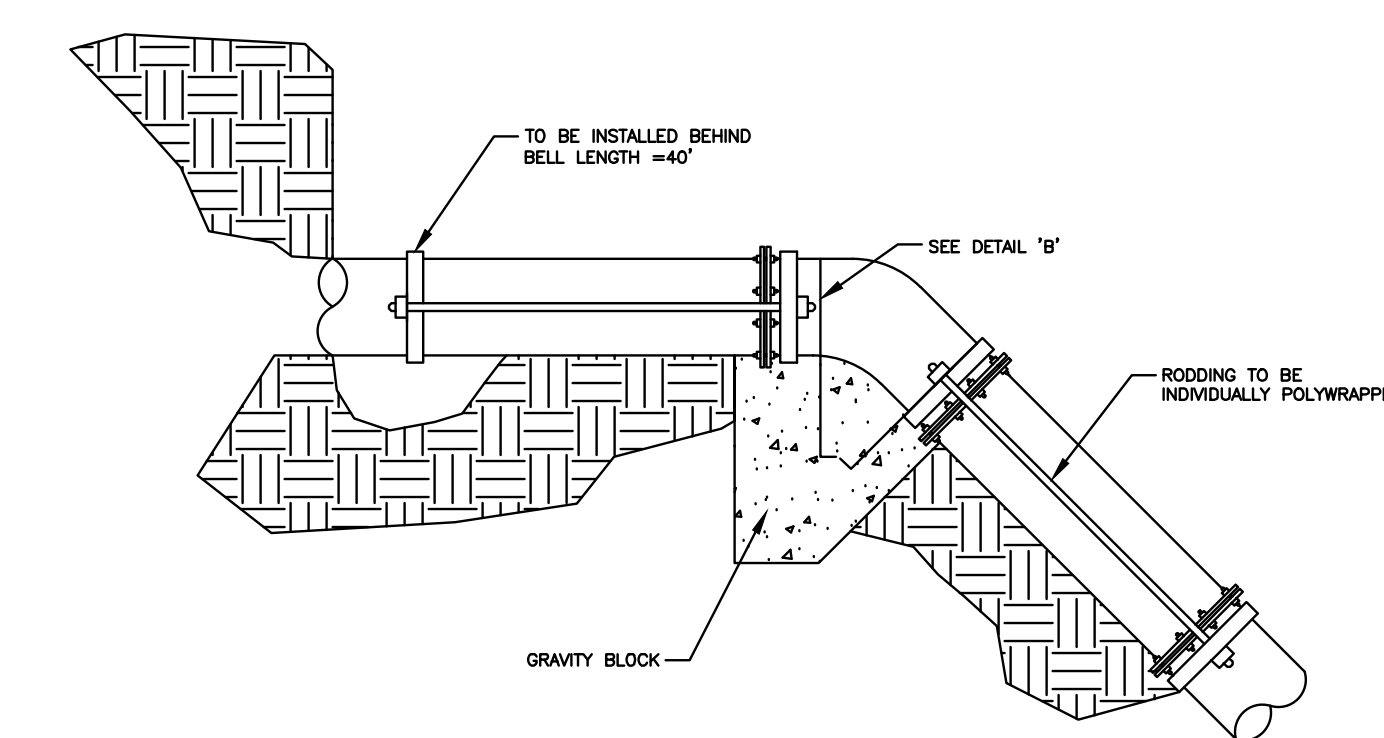


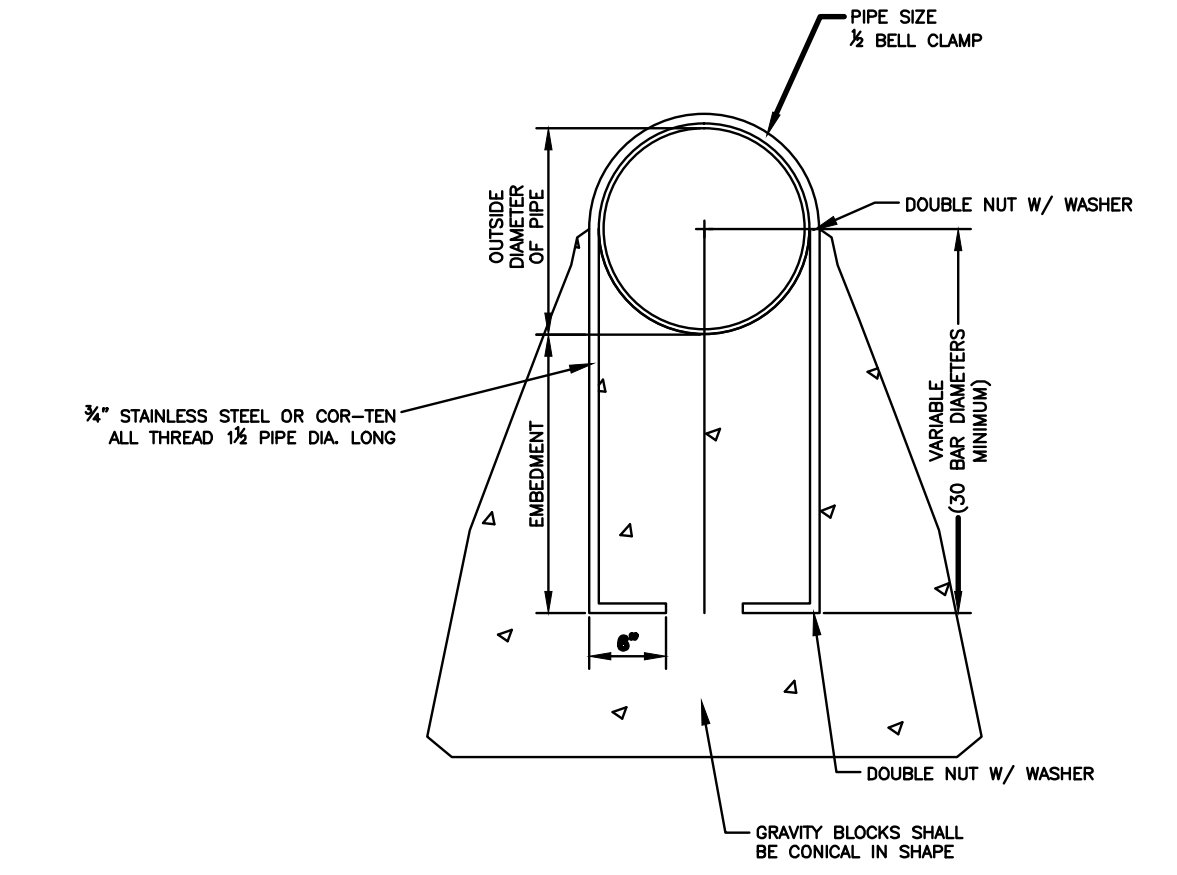
TABLE 1

| SIZE OF PIPE | 8"   | 12"  |
|--------------|------|------|
| 45'          | 5/8" | 7/8" |
| 22 1/2'      | 1/2" | 5/8" |
| 11 1/4'      | 1/2" | 1/2" |

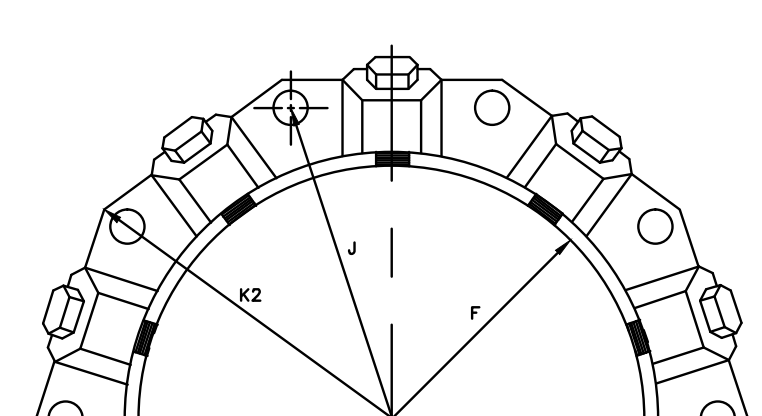
**GRAVITY BLOCKS MINIMUM VOLUME (IN CUBIC FEET)**

| SIZE OF PIPE | BENDS   |         |       | TEE OR DEAD END |
|--------------|---------|---------|-------|-----------------|
|              | 11 1/2" | 22 1/2" | 45'   |                 |
| 8"           | 20.0    | 40.0    | 74.0  | NA              |
| 12"          | 46.0    | 90.0    | 166.0 | NA              |

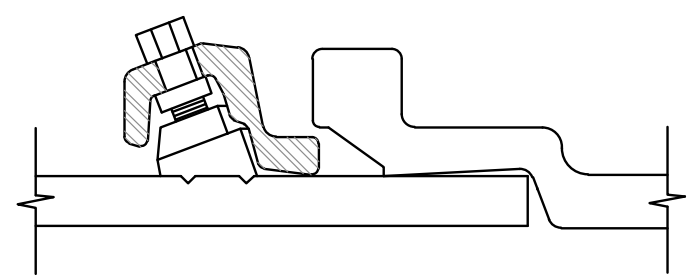
- NOTES:  
 1 - MEGA-LUC RESTRAINT MAY BE USED IN PLACE OF RODS AND CLAMPS.  
 2 - RODDING SHALL BE PER TABLE 1. RODDING AND NUTS TO BE STAINLESS STEEL OR COR-TEN.  
 3 - ALL PIPES AND RODS SHALL BE WRAPPED IN POLYETHYLENE.  
 4 - VERTICAL 90° BENDS ARE NOT ALLOWED.  
 5 - ALL JOINTS SHALL BE RESTRAINED BETWEEN THE FITTINGS.



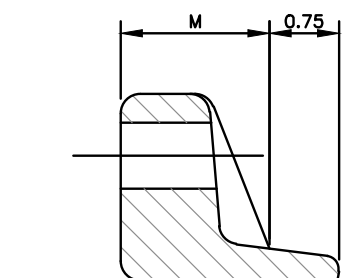
**VERTICAL THRUST BLOCK DETAIL**



MECHANICAL JOINT RESTRAINT



WEDGE DETAIL

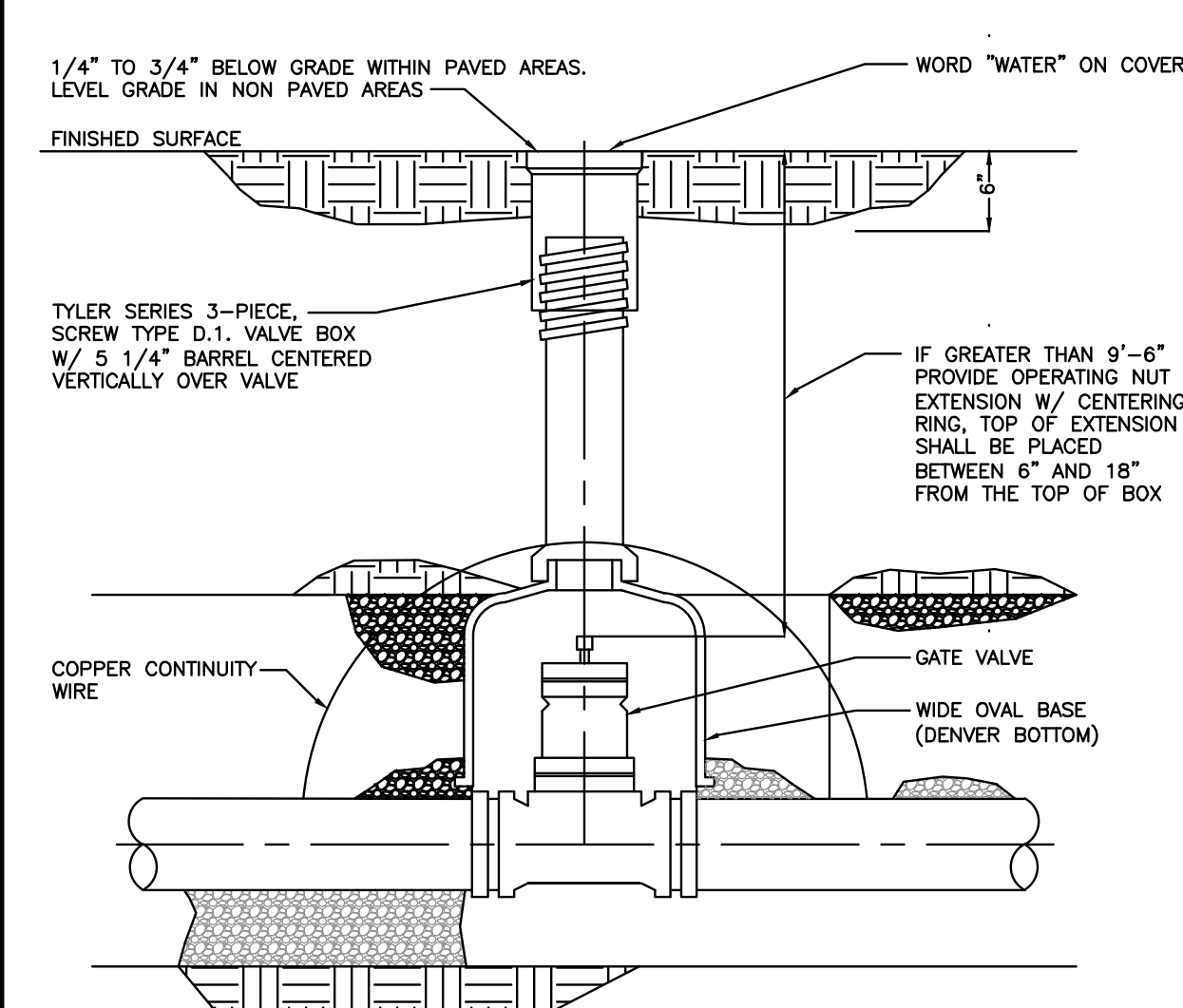


BOLT HOLE DETAIL

**DIMENSIONS**

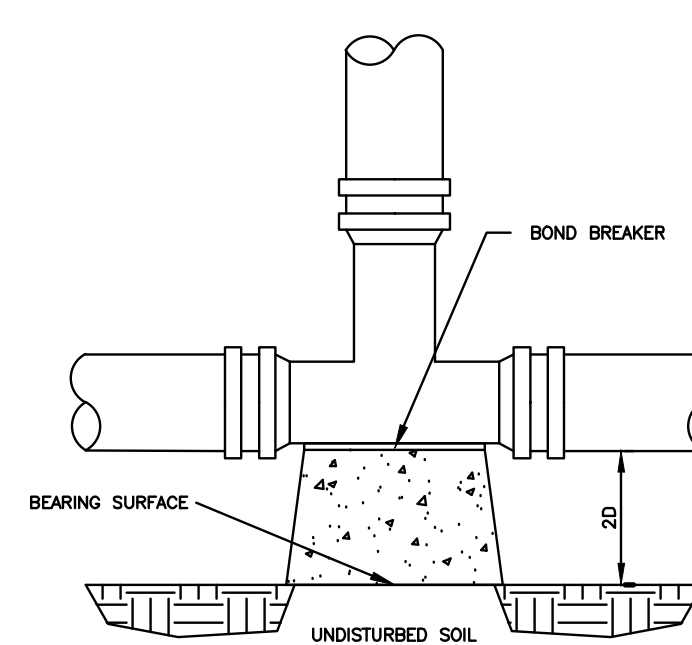
| NOMINAL PIPE SIZE | NO OF BOLTS | NO OF WEDGES | K2 INCHES | J INCHES | F INCHES | M INCHES |
|-------------------|-------------|--------------|-----------|----------|----------|----------|
| 6"                | 6           | 3            | 11.12     | 9.50     | 7.00     | 0.88     |
| 8"                | 6           | 4            | 13.37     | 11.75    | 9.15     | 1.00     |
| 10"               | 8           | 6            | 15.62     | 14.00    | 11.20    | 1.00     |
| 12"               | 8           | 8            | 17.88     | 16.25    | 13.30    | 1.25     |
| 16"               | 12          | 12           | 22.50     | 21.00    | 17.54    | 1.56     |
| 20"               | 14          | 14           | 27.00     | 25.50    | 21.74    | 1.69     |

**JOINT RESTRAINT DETAIL**

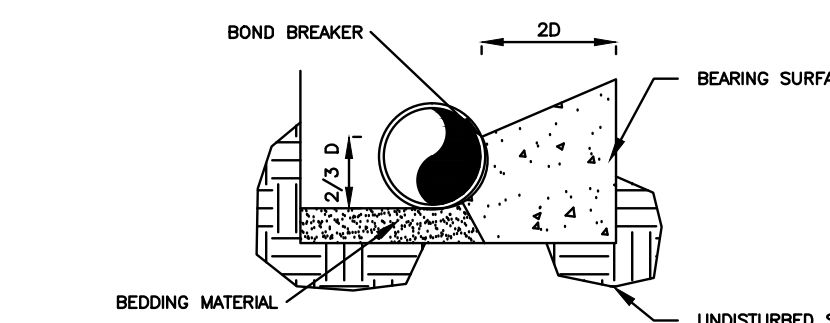


- NOTES:  
 1. GATE VALVES SHALL OPEN CCW AND BE RESILIENT SEAT.  
 2. FITTINGS SHALL BE WRAPPED WITH 8 MIL. MINIMUM THICKNESS POLYETHYLENE SHEETING. ALL VALVES AND FITTINGS SHALL BE EPOXY COATED.  
 3. VALVE BOX TOP SHALL BE SET 1/4" TO 3/4" BELOW FINAL ASPHALT PAVEMENT GRADE. SHALL BE INSTALLED AT GRADE IN NON-PAVED AREAS.  
 4. PROVIDE MARKER POST WHERE NECESSARY. AS DETERMINED BY WATER DEPARTMENT.  
 5. SEE TYPICAL WATER TRENCH DETAIL.  
 6. VALVE BOX AND ROD SHALL BE INSTALLED VERTICALLY. SHALL NOT BE TILTED IN ANY DIRECTION. (WHERE REQUIRED FOR VALVES DEEPER THEN 10')  
 7. VALVE BOX EXTENSION TO BE PROVIDED FOR ALL VALVES DEEPER THAN 10FT.

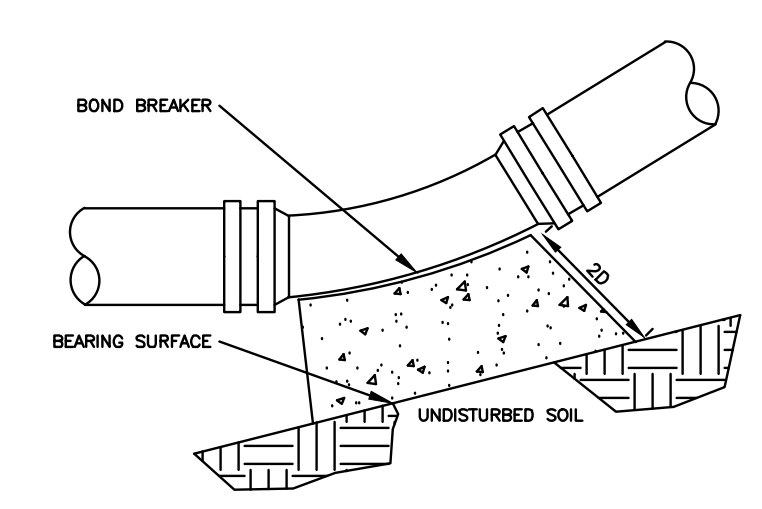
**VALVE AND VALVE BOX DETAIL**  
N.T.S.



TEE



TYPICAL CROSS SECTION



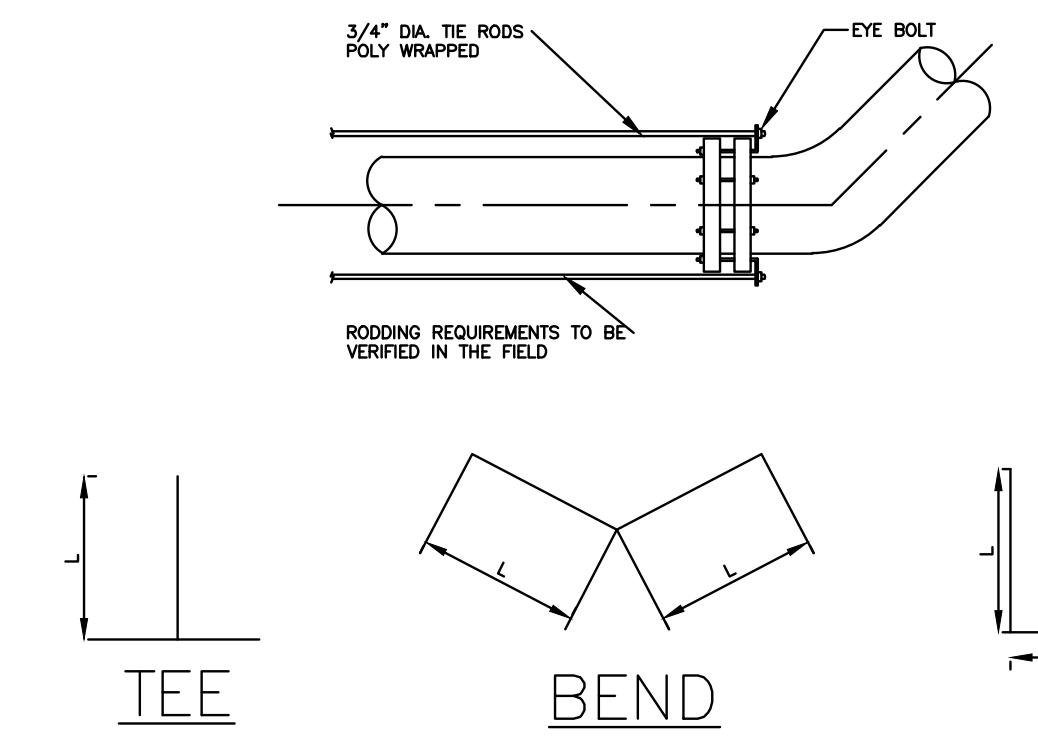
BEND

**MINIMUM BEARING SURFACE AREA (IN SQUARE FEET)**

| SIZE OF PIPE | BENDS   |         |      |      | TEE OR DEAD END |
|--------------|---------|---------|------|------|-----------------|
|              | 11 1/2" | 22 1/2" | 45'  | 90'  |                 |
| 4"           | 0.5     | 1.0     | 1.5  | 2.5  | 2.0             |
| 6"           | 1.0     | 1.5     | 3.0  | 5.5  | 4.0             |
| 8"           | 1.5     | 2.5     | 5.0  | 9.0  | 6.5             |
| 12"          | 3.0     | 5.5     | 10.5 | 19.5 | 14.0            |
| 16"          | 5.0     | 9.5     | 18.5 | 34.0 | 24.0            |

- NOTES:  
 1 - D = PIPE DIAMETER  
 2 - DO NOT COVER FITTING BOLTS WITH CONCRETE.  
 3 - ALL FITTINGS ARE TO BE WRAPPED IN POLYETHYLENE SHEETING.  
 4 - PROVIDE MINIMUM 2500 PSI CONCRETE.  
 5 - SIZES SHOWN FOR 1,500 PSF SOIL BEARING PRESSURE AND AN INTERNAL TEST PRESSURE OF 150 PSI.

**THRUST BLOCK DETAIL**



**ROD DIAMETER, GRADE AND LENGTH OF TIED PIPE**

| PIPE SIZE          | 4"                       |     |      | 6"   |     |      | 8"   |     |      | 12"  |     |      | 16" AND LARGER |   |   |   |
|--------------------|--------------------------|-----|------|------|-----|------|------|-----|------|------|-----|------|----------------|---|---|---|
|                    | FITTING                  | D   | L    | G    | D   | L    | G    | D   | L    | G    | D   | L    | G              | D | L | G |
| TEE BRANCH ONLY    | 3/4"                     | 30' | M.S. | 3/4" | 45' | M.S. | 3/4" | 60' | M.S. | 3/4" | 86' | M.S. |                |   |   |   |
| PLUG OR 90° BEND   | 3/4"                     | 30' | M.S. | 3/4" | 45' | M.S. | 3/4" | 60' | M.S. | 3/4" | 86' | M.S. |                |   |   |   |
| 45° BEND           | 3/4"                     | 9'  | M.S. | 3/4" | 13' | M.S. | 3/4" | 18' | M.S. | 3/4" | 25' | M.S. |                |   |   |   |
| 22-1/2° BEND       | 3/4"                     | 1'  | M.S. | 3/4" | 4'  | M.S. | 3/4" | 5'  | M.S. | 3/4" | 7'  | M.S. |                |   |   |   |
| 11-1/4° BEND       |                          |     |      |      |     |      | 3/4" | 1'  | M.S. | 3/4" | 2'  | M.S. |                |   |   |   |
| ALL VERTICAL BENDS | TOTALLY RESTRAINED L=40' |     |      |      |     |      |      |     |      |      |     |      |                |   |   |   |

- NOTES:  
 1 - LENGTH OF RESTRAINED PIPE MEASURED EACH WAY FROM BENDS OR FITTINGS.  
 2 - LENGTH REFERS TO THE AMOUNT OF PIPE WHICH MUST BE TIED TOGETHER, AND IS NOT NECESSARILY THE LENGTH OF THE RODS.  
 3 - CLAMPS AND RODS SHALL BE EXTENDED TO NEXT PIPE.  
 4 - D = DIAMETER, L = LENGTH, G = STEEL GRADE.  
 5 - MINIMUM 9.5' OF GROUND COVER IS REQUIRED.  
 6 - BASED ON 150 P.S.I. INTERNAL PRESSURE.  
 7 - ALL RESTRAINT RODS AND HARDWARE ARE TO BE STAINLESS STEEL OR COR-TEN.  
 8 - NUTS SHALL BE A.S.T.M., STANDARD DESIGNATION A-307, GRADE A OR B, HEXAGON HEAVY SERIES.  
 9 - LENGTH OF TIED PIPE CHART IS ALSO FOR THE LENGTH OF PIPE RESTRAINING GLANDS AND BELL RESTRAINTS.  
 10 - ALL RESTRAINING GLANDS SHALL BE SIMILAR AND EQUIVALENT TO EBBA IRON SERIES 1100 OR UNI-FLANGE 1400 SERIES FOR DIP AND EBBA IRON SERIES 2000 PV OR UNI-FLANGE SERIES 1500 FOR PVC. BELL JOINT RESTRAINTS SHALL BE SIMILAR AND EQUIVALENT TO EBBA IRON SERIES 1700 OR UNI-FLANGE SERIES 1390 FOR DIP AND EBBA 1600 OR UNIFLANGE SERIES 1390 FOR PVC.

**TYPICAL RESTRAINED JOINT**



| No. | Revision/Issue       | Date   | Description                          |
|-----|----------------------|--------|--------------------------------------|
| 1   | FINAL SITE PLAN/PLAT | 4/7/17 | TOD FINAL SITE PLAN & PLAT SUBMITTAL |

**TEN MILE ENGINEERING, INC.**  
 Professional Civil Engineers  
 Po Box 1785  
 Frisco, CO 80443  
 970.485.5773  
 tenmileengineer@aol.com

**DILLON RIDGE VISTAS**  
**BLOCK 6 DILLON RIDGE MARKETPLACE**  
 TOWN OF DILLON, COLORADO  
**WATER DETAILS**

|                                |             |
|--------------------------------|-------------|
| Project<br>DILLON RIDGE VISTAS |             |
| Date<br>4/7/17                 | Sheet<br>12 |
| Scale<br>NTS                   |             |





May 26, 2017

Summit Homes Construction, LLC, Attn: Mr. Tim Crane  
PO Box 6539  
Dillon, Colorado 80435

Subject: Comments Regarding Slope Stability  
Dillon Ridge Vistas  
Block 6, Dillon Ridge Marketplace  
Summit County, Colorado  
Project No. SU01304-125

As requested, we conducted a slope stability analysis of the proposed grading plan at the subject site. We previously provided a Preliminary Geotechnical Investigation at the site (see report dated January 27, 2017, Project No. SU01304-125). This letter should serve as a supplement to that report. Proposed construction includes three buildings with 12 units each (36 units total). Each building will be a three-story, wood-frame structure. An asphalt parking lot with concrete curb and gutter will be provided. Overlot grading will include cut depths of around 16 feet below existing grade.

We conducted subsurface exploration at the site for our previous report. Three test pits (TP-1, TP-2 and TP-3) were excavated on Block 6. The conditions encountered in the test pits generally consisted of fill soils overlying weathered shale bedrock. In TP-1, clayey, sandy gravel was found above the weathered shale. In TP-2 and TP-3, a layer of sandy clay was encountered above the weathered shale. The thickness of the clay layer ranged from 6 to 24 inches. A full description of the conditions encountered in TP-1, TP-2 and TP-3 and laboratory test results are shown in our January 2017 report. In order to conduct our slope stability analysis, we observed an additional test pit on the site (TP-10) at the location shown on Figure 1. Conditions encountered consisted of slightly clayey to silty, sandy gravel with cobbles to a depth of 18 feet. Gradation and classification testing was conducted on a sample of the gravel soils, see Figure 3. Weathered shale was found below the gravel to the depth explored of 20 feet. No clay was encountered in TP-10. Bedding planes of the shale dip across and against the hillside. No free water was encountered; however, the iron staining of the shale indicates seasonal water seepage. A graphic log of the test pit is shown on Figure 2.

Based on our stability analysis, the factor of safety of the existing hillside is near 1.6. Industry standard suggests a safety factor of at least 1.5 for permanent slopes. Based on the proposed grading shown on Overall Grading Plan, prepared by Ten Mile Engineering, Inc., April 4, 2017, the new retaining walls will need to be engineered to retain the hillside. We understand mechanically stabilized earth (MSE) segmental block walls are being considered. It is our opinion that properly designed and constructed retaining walls will be suitable to create a permanent, stable hillside configuration. We can provide design services upon request.

We appreciate the opportunity to work with you on this project. If you have questions or we can be of further service, please call.

Very truly yours,  
CTL | THOMPSON, INC.

George Benecke III, P.E.  
Division Manager, Summit County

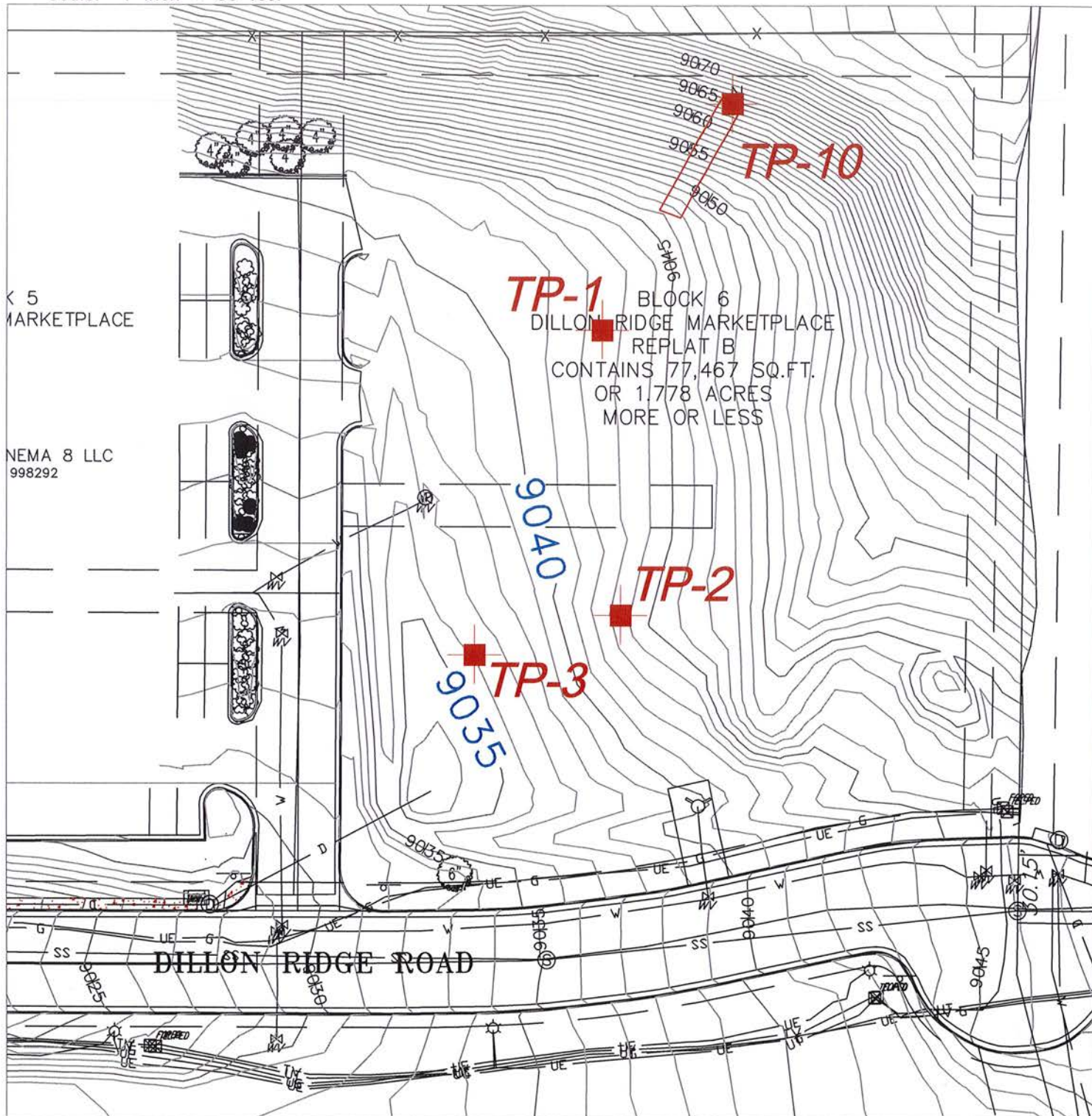


Attachments: Figures 1-3

cc: [Scott@columbineconcrete.com](mailto:Scott@columbineconcrete.com), [timc@compasshomesdev.com](mailto:timc@compasshomesdev.com), [tenmileengineer@aol.com](mailto:tenmileengineer@aol.com)



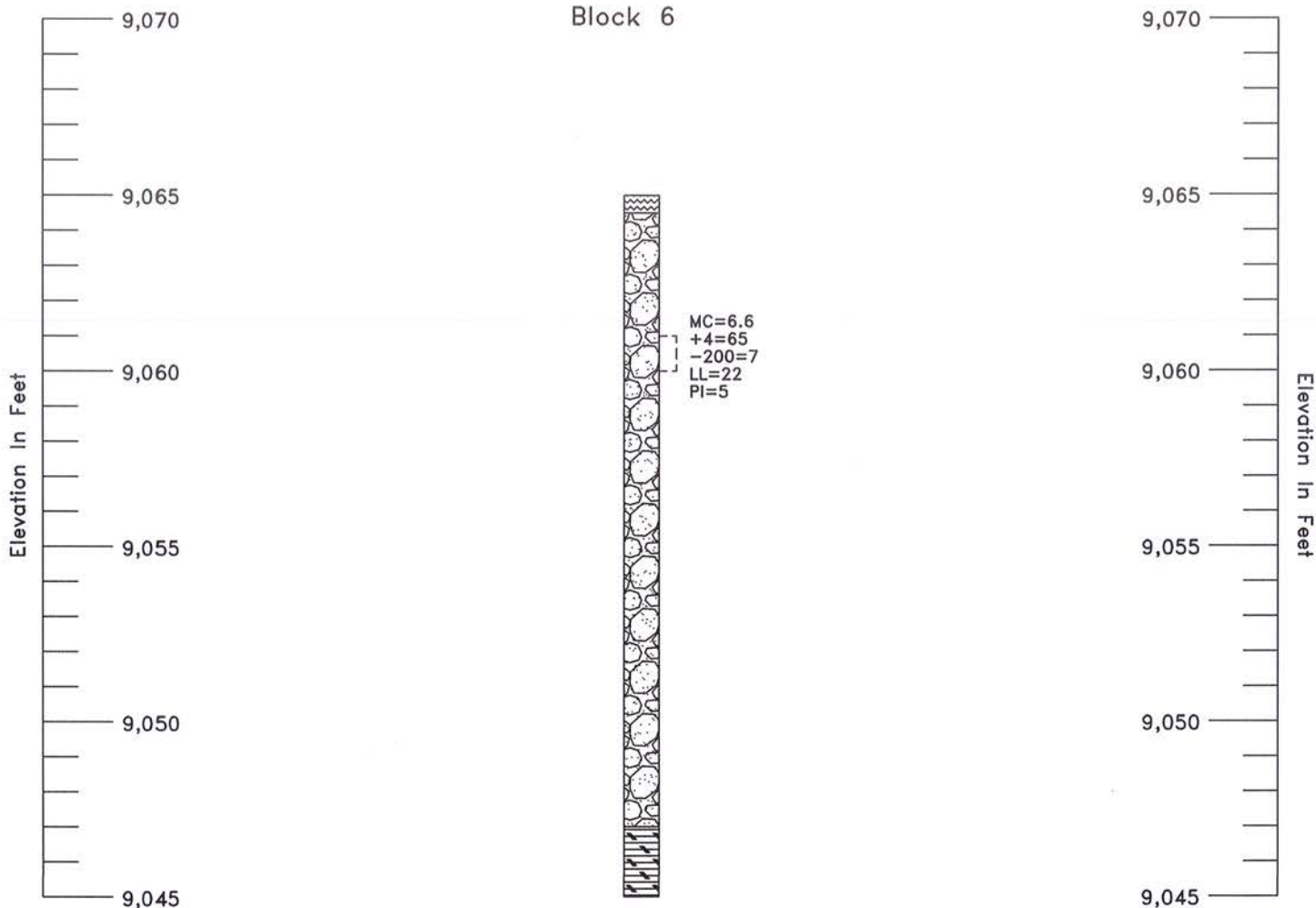
Scale: 1 inch = 50 feet



LOCATION OF EXPLORATORY PITS



TP-10  
 ELEV.=9,065  
 Block 6



**LEGEND:**



TOPSOIL; silty, sandy, with roots, moist, dark brown (OL)



GRAVEL; silty to slightly clayey, sandy with subrounded to subangular cobbles up to 10 inches in diameter, medium dense, moist, medium brown. (GP-GC, GM)



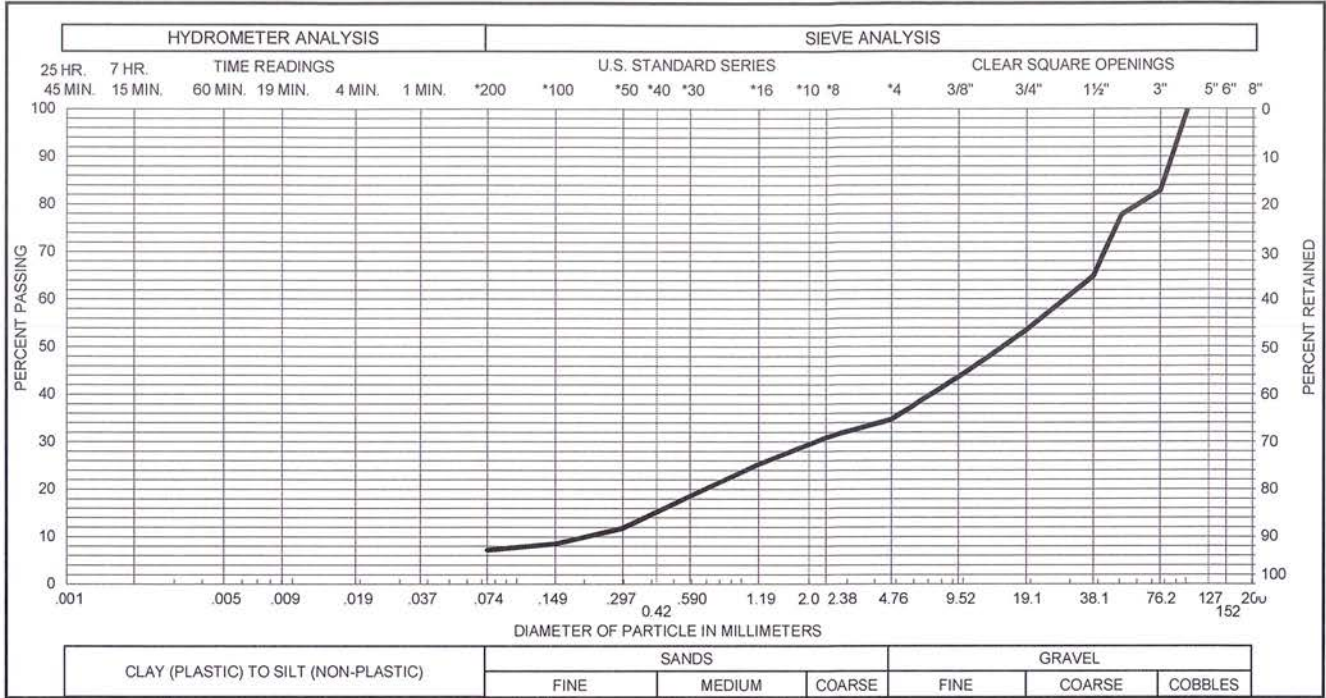
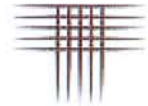
SHALE BEDROCK; very weathered, fractured fissile, mostly flat surface, very moist, orange brown. Strike 82 degrees, Dip 44 degrees.



Disturbed bulk sample.

**NOTES:**

1. This pit was excavated with a Caterpillar 336E on May 4, 2017.
2. No free water was observed in the pit at the time of excavation. The pit was backfilled. Groundwater levels can fluctuate. Iron staining in pit indicates seasonal water seepage.
3. Pit location as shown on Figure 2 was measured from site features and should be considered approximate.
4. Pit elevation was estimated from topography shown on Figure 1 and should be considered approximate. Elevation was checked by instrument level.
5. These exploratory pits are subject to the explanations, limitations and conclusions contained in our January 27, 2017 report.



| Sieve Size | % Passing |
|------------|-----------|
| 4 in.      | 100       |
| 3 in.      | 83        |
| 2 in.      | 78        |
| 1.5 in.    | 65        |
| 3/4 in.    | 54        |
| 1/2 in.    | 48        |
| 3/8 in.    | 44        |
| No. 4      | 35        |
| No. 8      | 31        |
| No. 16     | 25        |
| No. 30     | 19        |
| No. 50     | 12        |
| No. 100    | 9         |
| No. 200    | 7         |

Curve No. 1


Sample of GRAVEL; slightly silty, sandy  
 From TP-10 4-5'

|                  |      |              |      |
|------------------|------|--------------|------|
| GRAVEL(USCS)     | 65 % | SAND(USCS)   | 28 % |
| SILT & CLAY      | 7 %  | LIQUID LIMIT | 22 % |
| PLASTICITY INDEX |      |              | 5 %  |

## Gradation Test Results




**REDI-ROCK**



The LedgeStone texture is available on any Redi-Rock® block. That means you can create a retaining wall, top it with a freestanding wall, and accent it with columns. Beautiful!

REDI-ROCK TEXTURE:

# LEDGESTONE




Strong. Rugged. Handsome. What, you don't have those thoughts about retaining walls?

Well, we do. At Redi-Rock, we like retaining walls to look great while doing the hard job of holding back the earth. We painstakingly sought out world-class stone to create molds that give these blocks their classic stone aesthetics.

Redi-Rock LedgeStone blocks give projects a random, stacked stone look. Because they're made using architectural-grade precast concrete, the level of detail in the texture is outstanding.

## LedgeStone Block Specifications

- 
- Trapezoidal shape allows convex and concave radii
  - 5.5 inch (140 millimeter) deep texture
  - Colors can be formulated based upon local region
  - Ten individual face molds offer up to 115 square feet (10.5 square meters) of non-repeating patterns
  - Wet-cast concrete gives a greater level of detail and durability

Regional colors and coordinating accessories are available. Contact your local Redi-Rock retailer or visit [redi-rock.com](http://redi-rock.com) to learn more about the Redi-Rock LedgeStone face today!



## 19.5 Foot (6 Meter) Gravity Wall Creates Access For FBI Headquarters

### The Challenge

When the FBI was relocating its division headquarters near Cincinnati, the terrain at the new site included extreme grade changes, making for some challenging planning for an access road to the site. The road was slated for a tight space between an existing residential neighborhood and a major office building, which would require a 700 foot (213 meter) long retaining wall.

### The Solution

Sycamore Township chose Redi-Rock because we had a limited amount of space; we did not want to cut back behind the wall for tie-ins and we didn't want to lose trees that were buffering the neighbors from the

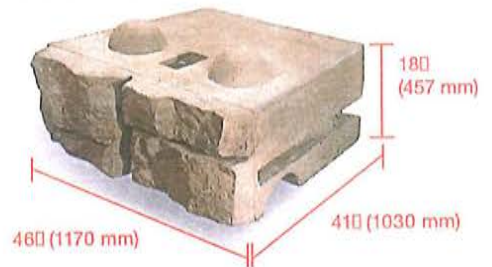
project," explained Tracy Kellums, Superintendent for Sycamore Township.

Redi-Rock is known for building tall gravity walls using massive, one-ton blocks to get the job done, but this 19.5 foot (6 meter) tall wall gave engineers the chance to show just what Redi-Rock blocks are really capable of.

To reach the required 19.5 feet (6 meters) with a gravity wall, engineers at URS utilized several unique components of the Redi-Rock system to achieve a custom solution for the project without the need for geogrid reinforcement or anchors. The design began with six to eight courses of the 60-inch base blocks, continued with

9-inch setback blocks, and finished with 41-inch blocks and 28-inch blocks.

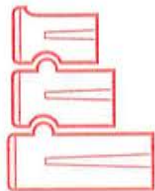
In total, the 8,000 square foot (743 square meter) wall was installed in less than three weeks, using a piece of heavy machinery and a small crew.



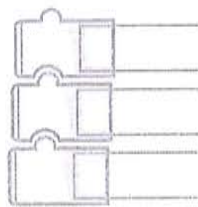
5.75 square feet of face - 2240 pounds  
(0.5 square meters of face - 1015 kilograms)

**Project:** Ronald Reagan Drive Project **Customer:** Sycamore Township, Ohio **Design/Specifying Engineer:** URS **Block Manufacturer:** Redi-Rock Structures of OKI **Wall Installer:** Nemann Construction **Location:** Cincinnati, Ohio **Completed:** 2011

**Your Complete Wall Solution** Each block in the Redi-Rock system is available in any texture and can coordinate in the same wall, giving you the flexibility you need.



Gravity Walls  
(shown above)



MSE Walls



Freestanding Walls

See [redi-rock.com](http://redi-rock.com)  
for additional  
products and  
accessories.



Contact your local Redi-Rock retailer or visit [redi-rock.com](http://redi-rock.com) to learn more about the Redi-Rock Ledgestone face today!

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Form No. FRI-004-061015LTS

May 23, 2017

Mr. Dan Burroughs PE  
Town of Dillon  
Town Engineer/Community Development Coordinator  
Dillon, CO

**RE: Dillon Ridge Block 6 Drainage and Water Quality Memo**

Dear Dan,

The following memo addresses the drainage and water quality requirements associated with the development of Block 6, Dillon Ridge Marketplace in Dillon, Colorado. Our client, Summit Homes LLC, is proposing to begin construction of three 12plex buildings (36 total units) in the summer of 2017.

Block 6 was created approximately 20 years ago as part of the overall Dillon Ridge Marketplace development. During that time the drainage and water quality for the entire area, including Block 6, was studied by Hurst and Associates, Inc. and a final drainage report was developed (Final Drainage Report, Dillon Ridge Marketplace Job No. 2000-13 Dated 3/28/1997). That report is the guiding document for the area and is the basis of this memo. A copy of the report is on file at the Town of Dillon. During the initial development of the Dillon Ridge Marketplace, Block 6 was regraded and left undeveloped. The site currently drains to the southwest and is sparsely vegetated.

**Detention and Water Quality Requirements**

During the development of the Dillon Ridge Marketplace an overall detention and water quality pond was designed and built on the south side of Highway 6 per the recommendations in the Final Drainage Report. The majority of the overall developments drainage is directed to the pond via inlets and culverts. Once the water has been detained it is released at the allowable rate and flows through another series of culverts through the Town of Silverthorne where it eventually makes it way to the Blue River. Block 6 was included in the sizing of the pond and as such will utilize the existing pond to provide the detention and water quality functions required due to the development of the lot.

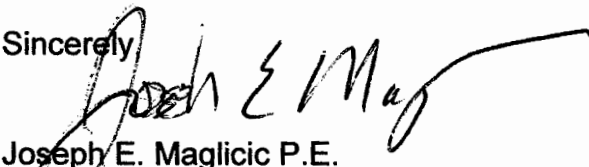
The majority of the drainage generated by the development of the Block 6 will be directed to the existing culvert previously installed to collect the drainage from

Ten Mile Engineering, Inc.

Block 6 and ties into the overall Dillon Ridge Marketplace drainage system that directs the water to the existing detention and water quality facility. The existing drainage report for Block 6 assumed that the property would be approximately 90% impervious when developed and the existing pond was sized and built under those assumptions. The currently proposed development for Block 6 is only 58% impervious and creates less runoff than assumed during the design and construction of the existing detention pond. As a result of the reduction in impervious area, it is Ten Mile Engineering, Inc. opinion, that the development of Block 6 as currently proposed is consistent with the overall design of the detention and water quality facilities associated with the Dillon Ridge Marketplace.

Please feel free to contact me with any questions.

Sincerely



Joseph E. Maglicic P.E.  
Ten Mile Engineering, Inc.  
PO 1785  
Frisco CO 80443  
970 485 5773



**GENERAL NOTES**

- THESE PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION OR PERMITTING UNLESS STATED FOR SUCH USE IN THE TITLE BLOCK.
- 8F5K-B; G5F9-4HBB8981C-09DF-BH8CB & "L" \*D5DF" DF-BHE; H-9C98F5K-B; G5H58-; 9F9BHGN9K @AD57H4-9C7509" J9F- M4-9; F5D-7 C75069; CF9 F9; 9F9B74-B; 5BMA95G1 F9A9B-GCBH-9C9 G-99HC" H-9F974D9HC; H-9C9 DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
- VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTION BY OWNER'S REPRESENTATIVE WHICH REQUIRE ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK.
- THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED. ALL LAYOUT INFORMATION IS AVAILABLE IN DIGITAL FORMAT FOR USE BY THE CONTRACTOR.
- IF A GEOTECHNICAL SOILS REPORT IS NOT AVAILABLE AT THE TIME OF CONSTRUCTION, NORRIS DESIGN RECOMMENDS A REPORT BE AUTHORIZED BY THE OWNER AND THAT ALL F97CAA9B85HCBCG; H-9F9DC1F5F9; C@CK98 81 F-4; 7CBG4F1 7HC3" H-9 7CBF577CF G-5@E1 Q9H-9C97CBH-F57H8C71 A9BH-G-5G565GG; CF H-9F648" - H-9 OWNER ELECTS TO PROVIDE A GEOTECHNICAL REPORT, THE CONTRACTOR SHALL REVIEW THE REPORT AND SUBMIT AN APPROPRIATE CHANGE ORDER TO THE OWNER'S REPRESENTATIVE IF ADDITIONAL COSTS ARE REQUESTED.
- CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS, WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATSFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
- CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-CONFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES, AND REGULATORY AGENCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. REFER TO ENGINEERING UTILITY PLANS FOR ALL PROPOSED UTILITY LOCATIONS AND DETAILS. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM WORK.
- UNLESS IDENTIFIED ON THE PLANS FOR DEMOLITION OR REMOVAL, THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
- ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
- SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS. NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.
- COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH OWNER'S REPRESENTATIVE.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM, EROSION OR UNINTENDED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE IS ISSUED.
- THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE WORK.
- MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE STANDARDS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT-OF WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.
- THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.
- THE CLEANING OF CONCRETE EQUIPMENT IS PROHIBITED AT THE JOB SITE EXCEPT IN

- DESIGNATED CONCRETE WASHOUT AREAS. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE IN THE STORM SEWER IS PROHIBITED.
- OPEN SPACE SWALES: IF SWALES ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE CONVEYANCE OF WATER WITHIN THE SWALES DURING THE CONTRACT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DIVERSION OR PUMPING OF WATER IF REQUIRED TO COMPLETE WORK. ANY SWALES DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE SWALE NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
- DETECTION AND WATER QUALITY PONDS: IF DETENTION PONDS AND WATER QUALITY PONDS ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE PONDS, DRAINAGE STRUCTURES AND SPILLWAYS DURING CONSTRUCTION. ALL PONDS, DRAINAGE STRUCTURES AND SPILLWAYS SHALL BE MAINTAINED IN OPERABLE CONDITIONS AT ALL TIMES. ANY POND OR SPILLWAY AREAS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE POND NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
- MAINTENANCE ACCESS BENCHES: IF MAINTENANCE BENCHES OR ACCESS ROADS EXIST ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE BENCHES OR ACCESS ROADS DURING CONSTRUCTION. ANY BENCHES OR ACCESS ROADS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING BENCHES AND ACCESS ROADS DURING THE CONSTRUCTION PERIOD. IF ACCESS NEEDS TO BE BLOCKED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INTERRUPTION OF ACCESS.
- LOCAL, STATE AND FEDERAL JURISDICTIONAL REQUIREMENTS, RESTRICTIONS OR PROCEDURES SHALL SUPERSEDE THESE PLANS, NOTES AND SPECIFICATIONS WHEN MORE STRINGENT. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS OCCUR.

**LAYOUT NOTES**

- WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- SHOULD SITE CONDITIONS BE DIFFERENT THAN WHAT IS INDICATED ON THE DRAWINGS CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- CURVED WALKS AND CURB EDGES ARE INTENDED TO BE CONSTRUCTED WITH SMOOTH FLOWING CURVES. ANYTHING OTHER THAN SMOOTH FLOWING CURVES WILL BE REJECTED.
- THE CONTRACTOR SHALL OBTAIN, AT HIS EXPENSE, ALL PERMITS WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK.
- THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL INSTALL SLEEVING FOR IRRIGATION IMPROVEMENTS PRIOR TO INSTALLING CONCRETE FLATWORK. REFER TO IRRIGATION PLANS.
- LAYOUT WALKS, SCORE JOINTS AND PAVING PATTERNS AS CLOSELY AS POSSIBLE TO PLANS, DETAILS, AND SPECIFICATIONS. DO NOT DEVIATE FROM PLANS UNLESS SPECIFIC APPROVAL IS OBTAINED FROM THE OWNER'S REPRESENTATIVE.
- ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE LANDSCAPE ARCHITECT PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK. SEE TECHNICAL SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY FENCING AROUND ALL PLAY STRUCTURES UNTIL PROPER FALL SURFACE IS COMPLETELY INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR SUPERVISING ALL SAFETY SURFACING AND PAVEMENT DURING THE CURING PROCESS.

**EROSION NOTES**

- THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL REMOVE ALL SEDIMENT, MUD, AND CONSTRUCTION DEBRIS THAT MAY ACCUMULATE IN THE FLOW LINE AND THE PUBLIC RIGHTS-OF-WAY OF THE TOWN OF BRECKENRIDGE AS A RESULT OF THIS SITE DEVELOPMENT. SAID REMOVAL SHALL BE CONDUCTED IN A TIMELY MANNER.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, ETC., RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
- THE DEVELOPER, GENERAL CONTRACTOR, GRADING CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO OR EXPORTED FROM THIS SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT ON PUBLIC RIGHT-OF WAYS.
- THE USE OF REBAR, STEEL STAKES, OR STEEL FENCE POSTS TO STAKE DOWN STRAW OR HAY BALES OR TO SUPPORT SILT FENCING USED AS AN EROSION CONTROL MEASURE IS PROHIBITED.
- THE CLEANING OF CONCRETE TRUCK DELIVERY CHUTES IS PROHIBITED AT THE JOB SITE. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE TO THE STORM SEWER SYSTEM IS PROHIBITED.
- THE CONTRACTOR SHALL PROTECT ALL STORM SEWER FACILITIES ADJACENT TO ANY LOCATION WHERE PAVEMENT CUTTING OPERATIONS INVOLVING WHEEL CUTTING, SAW CUTTING, OR ABRASIVE WATER JET CUTTING ARE TO TAKE PLACE. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL WASTE PRODUCTS GENERATED BY SAID CUTTING OPERATIONS ON A DAILY BASIS.

**LANDSCAPE NOTES**

- THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS AND SPECIFICATIONS AS CLOSELY AS POSSIBLE. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. GRAPHIC QUANTITIES TAKES PRECEDENCE OVER WRITTEN QUANTITIES.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE OWNER'S REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ONSITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
- THE OWNER'S REPRESENTATIVE MAY ELECT TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION BASED ON SELECTION, AVAILABILITY, OR TO ENHANCE SPECIFIC AREAS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL SIZES WITH OWNER'S REPRESENTATIVE PRIOR TO PURCHASING, SHIPPING OR STOCKING OF PLANT MATERIALS. SUBMIT CHANGE ORDER REQUEST TO OWNER'S REPRESENTATIVE FOR APPROVAL IF ADDITIONAL COST IS REQUESTED BY THE CONTRACTOR PRIOR TO INSTALLATION. RE-STOCKING CHARGES WILL NOT BE APPROVED IF THE CONTRACTOR FAILS TO SUBMIT A REQUEST FOR MATERIAL CHANGES.
- THE CONTRACTOR SHALL WARRANT ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS.
- REFER TO IRRIGATION PLANS FOR LIMITS AND TYPES OF IRRIGATION DESIGNED FOR THE LANDSCAPE. IN NO CASE SHALL IRRIGATION BE OMITTED WITHIN THE MINIMUM DISTANCE FROM BUILDING OR WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATION DISTRIBUTION LINES, HEADS AND EMITTERS SHALL BE KEPT OUTSIDE THE MINIMUM DISTANCE AWAY FROM ALL BUILDING AND WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT.
- LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED TO A DEPTH OF 1' @ 5B85A9B898D9F QD97- #75HCBC"
- ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT AS NOTED IN THE TECHNICAL SPECIFICATIONS.
- TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.
- THE CENTER OF EVERGREEN TREES SHALL NOT BE PLACED CLOSER THAN 8' AND THE CENTER OF ORNAMENTAL TREES CLOSER THAN 6' FROM A SIDEWALK, STREET OR DRIVE LANE. EVERGREEN TREES SHALL NOT BE LOCATED ANY CLOSER THAN 15' FROM IRRIGATION ROTOR HEADS. NOTIFY OWNER'S REPRESENTATIVE IF TREE LOCATIONS CONFLICT WITH THESE STANDARDS FOR FURTHER DIRECTION.
- ALL EVERGREEN TREES SHALL BE FULLY BRANCHED TO THE GROUND AND SHALL NOT EXHIBIT SIGNS OF ACCELERATED GROWTH AS DETERMINED BY THE OWNER'S REPRESENTATIVE.
- ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR A PERIOD OF 3 YEARS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 3 YEARS FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
- ALL TREES INSTALLED ABOVE RETAINING WALLS UTILIZING GEO-GRID MUST BE HAND DUG TO PROTECT GEO-GRID. IF GEO-GRID MUST BE CUT TO INSTALL TREES, APPROVAL MUST BE GIVEN BY OWNER'S REPRESENTATIVE PRIOR TO DOING WORK.
- ALL TREES IN SEED OR TURF AREAS SHALL RECEIVE MULCH RINGS. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE FOR ANY TREES THAT WILL NOT BE MULCHED FOR EXCESSIVE MOISTURE REASONS.
- SHRUB, GROUNDCOVER AND PERENNIAL BEDS ARE TO BE CONTAINED BY BENDA BOARD, 14 GAUGE GREEN, ROLL TOP, INTERLOCKING TYPE EDGER, BENDA BOARD OR EQUAL. EDGER IS BCFH9E1 F98K <9B 58-579BH-C 71 F6CZK 5@CZK 5@GCF C@8: 9B79CK H-B" T.C. PRE-MULCHED FINAL GRADE. EDGER SHALL NOT BE REQUIRED TO SEPARATE MULCH TYPES UNLESS SPECIFIED ON THE PLANS.
- ALL SHRUB BEDS ARE TO BE MULCHED WITH SHREDDED WOOD LANDSCAPE MULCH OVER SPECIFIED GEOTEXTILE WEED CONTROL FABRIC. ALL GROUND COVER AND PERENNIAL FLOWER BEDS SHALL BE MULCHED WITH SMALL NUGGET WOOD LANDSCAPE MULCH. NO WEED CONTROL FABRIC IS REQUIRED IN GROUNDCOVER OR PERENNIAL AREAS.
- AT SEED AREA BOUNDARIES ADJACENT TO EXISTING NATIVE AREAS, OVERLAP ABUTTING NATIVE AREAS BY THE FULL WIDTH OF THE SEEDER.
- DISTURBED NATIVE AREAS WHICH ARE TO REMAIN SHALL BE OVER SEEDED AND RESTORED WITH SPECIFIED SEED MIX.
- CONTRACTOR SHALL OVER SEED ALL MAINTENANCE OR SERVICE ACCESS BENCHES AND ROADS WITH SPECIFIED SEED MIX UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL SEEDED SLOPES EXCEEDING 25% IN GRADE (4:1) SHALL RECEIVE EROSION CONTROL BLANKETS. PRIOR TO INSTALLATION, NOTIFY OWNER'S REPRESENTATIVE FOR APPROVAL OF LOCATION AND ANY ADDITIONAL COST IF A CHANGE ORDER IS NECESSARY.
- K<9B 7CAD@H 025@@; F589G G-5@@9K H-B ZH%T C ; B-G-98; F589G5G G-CKB ON THE PLANS.
- PRIOR TO THE PLACEMENT OF MULCH AND WEED FABRIC, A GRANULAR, PRE-EMERGENT, WEED CONTROL AGENT SHALL BE ADDED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION, EXCEPT AROUND ORNAMENTAL GRASSES. THE CONTRACTOR IS EXPECTED TO KNOW AND UNDERSTAND THE TOWN AND COUNTY SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION. IN CASES OF DISCREPANCIES THE HIGHER OF THE TWO STANDARDS SHALL HAVE PRECEDENCE.
- THE DEVELOPER, HIS SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL IMPROVEMENTS SHOWN OR INDICATED ON THE APPROVED LANDSCAPE PLAN ON FILE IN THE PLANNING DEPARTMENT.

**SHEET INDEX**

- L-00 COVER SHEET
- L-01 LANDSCAPE PLAN
- L-02 DETAILS
- L-03 DETAILS

**VICINITY MAP**



  
**NORRIS DESIGN**  
 Planning | Landscape Architecture | Project Promotion  
 409 Main Street, Suite 207  
 PO Box 2320  
 Frisco, CO 80443  
 P 970.368.7068  
 www.norris-design.com

**DILLON RIDGE MARKETPLACE**

Block 6  
Dillon, CO

OWNER:  
Compass Home Development, LLC.  
  
P.O. Box 5265  
Frisco, CO  
970.418.1598



DATE:  
06.07.17 SITE PLAN 02

**DRAFT**

SHEET TITLE:  
**LANDSCAPE NOTES**

**L-00**

**NOT FOR CONSTRUCTION**

CHECKED BY:  
DRAWN BY:  
LN, LM

**PLANT SCHEDULE**

| QTY.                     | SYM. | COMMON NAME                  | BOTANICAL NAME              | SIZE & COND.       |
|--------------------------|------|------------------------------|-----------------------------|--------------------|
| (UNLESS OTHERWISE NOTED) |      |                              |                             |                    |
| <b>DECIDUOUS TREES</b>   |      |                              |                             |                    |
| 9                        | ASP  | ASPEN, QUAKING (SINGLE STEM) | POPULUS TREMULOIDES         | 1.5" CAL., B&B     |
| 12                       | ASM  | ASPEN, QUAKING (CLUMP)       | POPULUS TREMULOIDES         | 6" MULTI-STEM, B&B |
| 18                       | CAN  | SHUBERT CHOKECHERRY          | PRUNUS VIRGINIANA 'SHUBERT' | 1.5" CAL., B&B     |
| <b>EVERGREEN TREES</b>   |      |                              |                             |                    |
| 6                        | BRP  | BRISTLEcone PINE             | PINUS ARISTATA              | 6' HT. MN., B&B    |
| 2                        | CBS  | COLORADO BLUE SPRUCE         | PICEA PUNGENS               | 8' HT. MN., B&B    |
| <b>SHRUBS</b>            |      |                              |                             |                    |
| 4                        | MSN  | MOUNTAIN SNOWBERRY           | SYMPHORICARPOS OREOPHILUS   | #5 CONT.           |
| 7                        | NMO  | MOUNTAIN NINEBARK            | PHYSOCARPUS MONOGYNUS       | #5 CONT.           |
| 7                        | POT  | GOLD DROP POTENTILLA         | P. FRUTICOSA 'GOLD DROP'    | #5 CONT.           |
| 4                        | RBE  | RED BERRIED ELDER            | SAMBUCUS PUBENS             | #5 CONT.           |
| 5                        | RSP  | ROCK SPIREA                  | HOLODISCUS DUMOSUS          | #5 CONT.           |
| 3                        | WRO  | WOODS ROSE                   | ROSA WOODSII                | #5 CONT.           |

**SHORT DRY GRASS SEED MIXTURE**

| COMMON NAME                | % OF TOTAL  | LBS. PER 1000 S.F. |
|----------------------------|-------------|--------------------|
| HARD FESCUE, VNS           | 30%         | 0.6 LBS.           |
| CREEPING RED FESCUE, VNS   | 30%         | 0.6 LBS.           |
| SHEEP FESCUE, MEKLENBERGER | 25%         | 0.5 LBS.           |
| CANADA BLUEGRASS, RUBENS   | 10%         | 0.2 LBS.           |
| CANBY BLUEGRASS, CANBAR    | 5%          | 0.1 LBS.           |
| <b>TOTAL</b>               | <b>100%</b> | <b>2.0 LBS.</b>    |

- SLOPES OVER 3:1 SHALL BE HAYED AND TACKIFIED OR NETTED  
 - SPREAD SEED AT A RATE OF 3-4 LBS PER 1000 SF

**LANDSCAPE REQUIREMENTS**

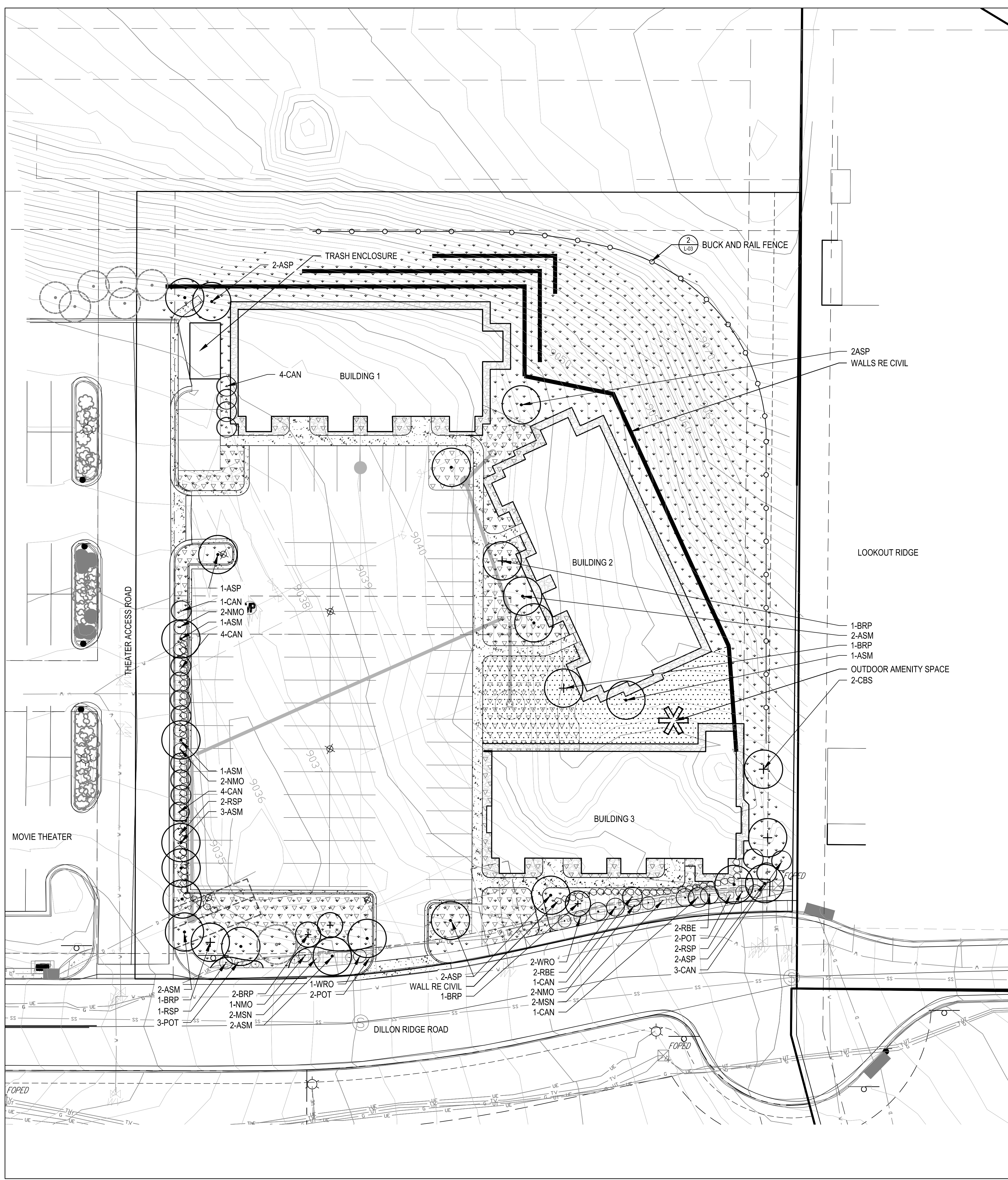
| LANDSCAPE AREA | REQUIRED TREES | PROVIDED TREES | REQUIRED SHRUBS | PROVIDED SHRUBS |
|----------------|----------------|----------------|-----------------|-----------------|
| STREET TREES   | 32             | 32             | N/A             | NA              |
| PARKING BUFFER | 15             | 15             | N/A             | 30              |
| <b>TOTAL</b>   | <b>47</b>      | <b>47</b>      | <b>N/A</b>      | <b>30</b>       |

**LEGEND**

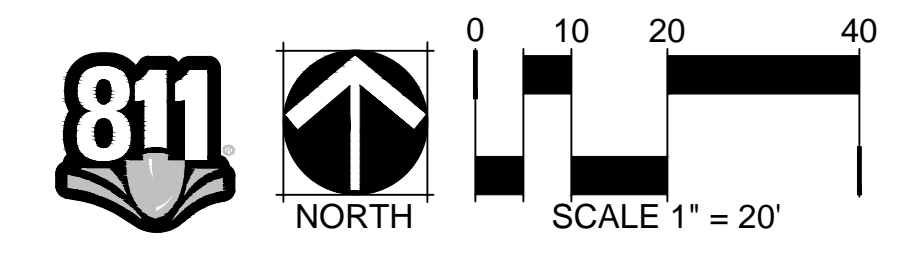
- EVERGREEN TREES
- DECIDUOUS TREES
- SHRUBS
- NATIVE GRASS SEED
- RIVER ROCK COBBLE MULCH
- LANDSCAPE BED, SHREDDED BARK MULCH
- PROPOSED SNOW STORAGE AREA
- AMENITY SPACE
- BENDA BOARD EDGER
- SPADE CUT EDGER
- EXISTING TREE

**SNOW STORAGE CALCULATIONS**

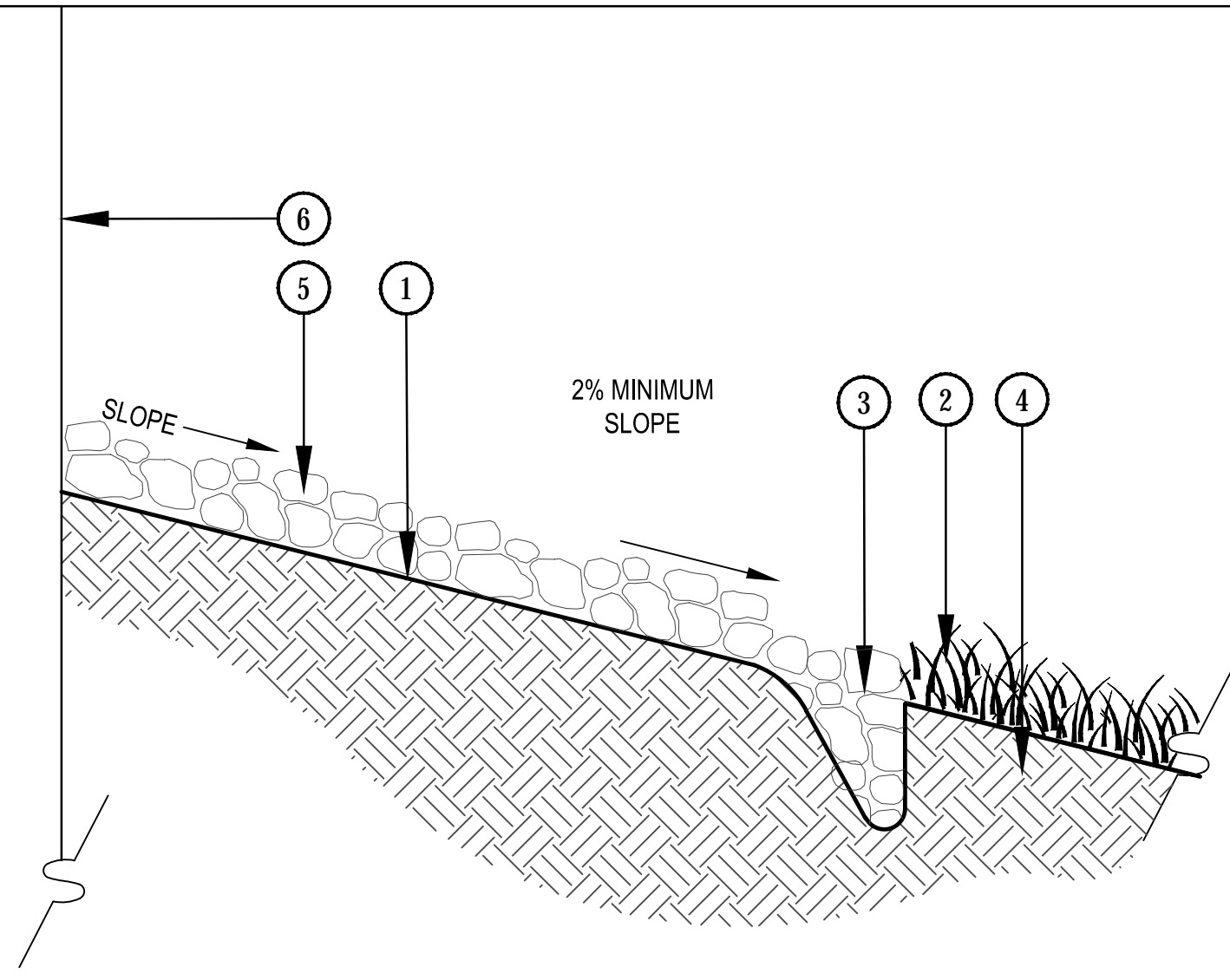
|                    |          |
|--------------------|----------|
| PAVED AREA:        | 21196.58 |
| 25% REQ'D STORAGE: | 5299.15  |
| STORAGE PROVIDED:  | 5846.24  |



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 DRAWN BY:

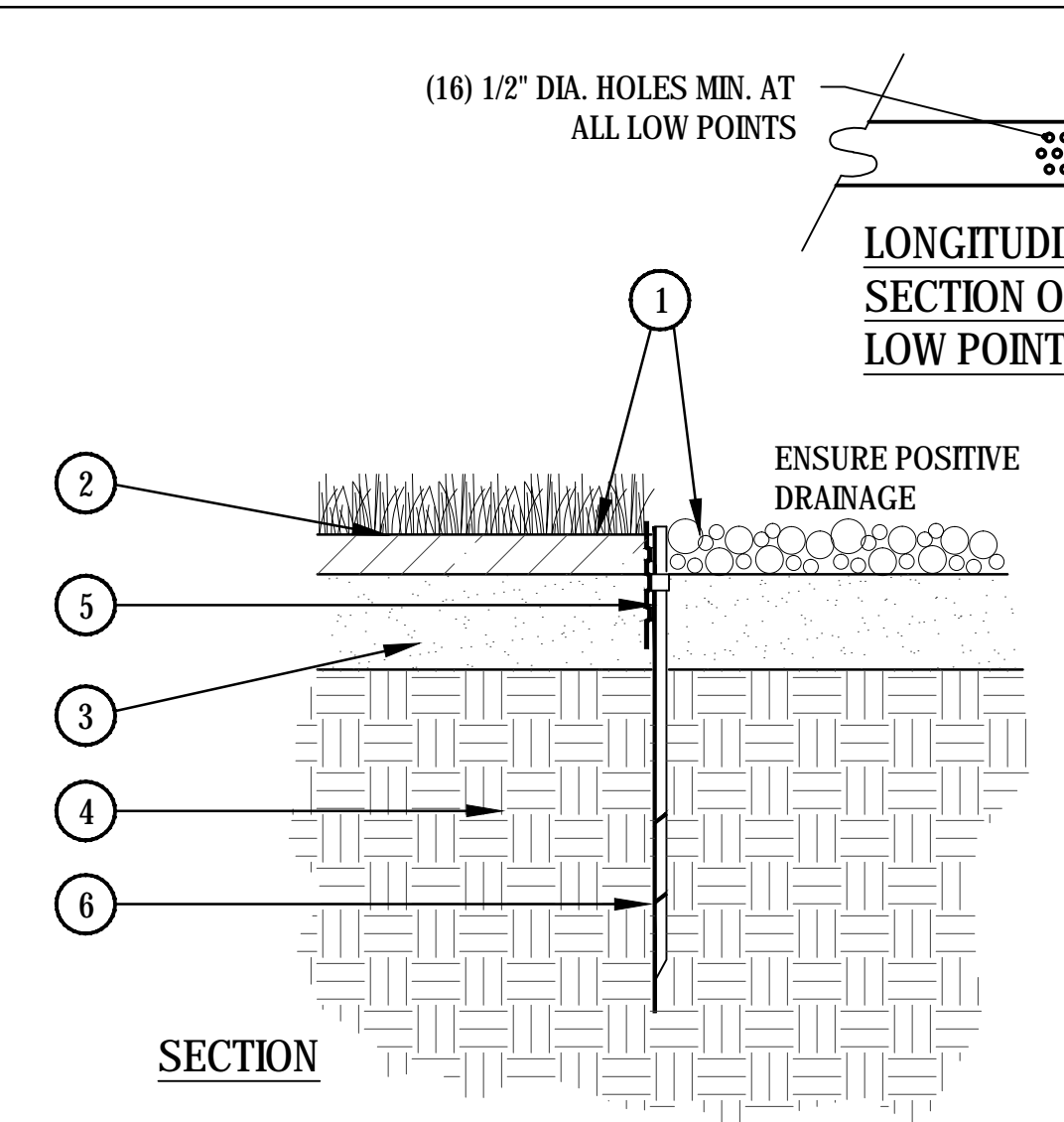


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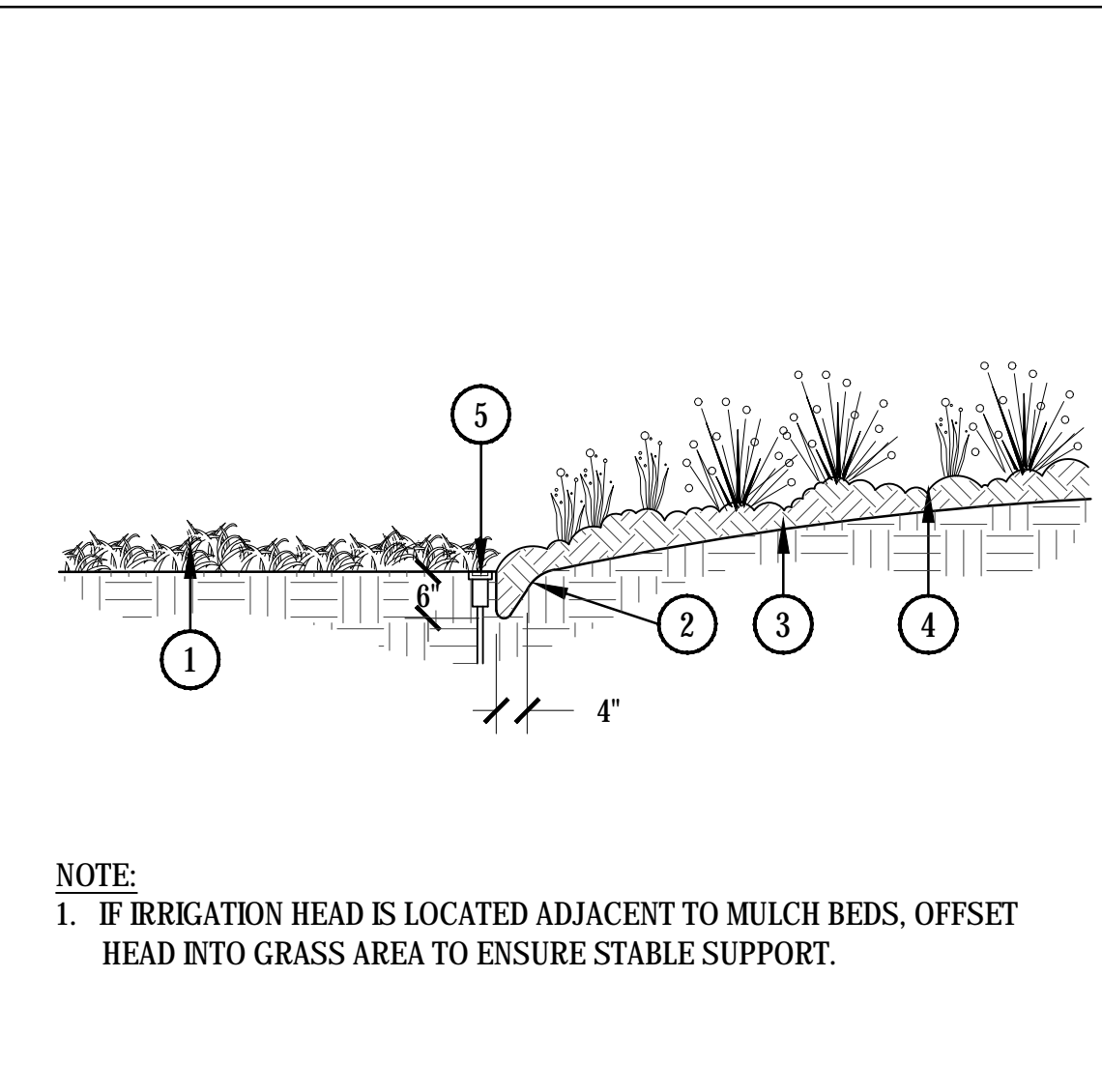
**1 COBBLE DRIP LINE** N.T.S.

- ① FINISH GRADE
- ② SOD / NATIVE GRASS
- ③ HAND SPADED EDGE
- ④ SUBGRADE
- ⑤ 3' WIDE BAND, 5-8" RIVER ROCK COBBLE
- ⑥ BUILDING



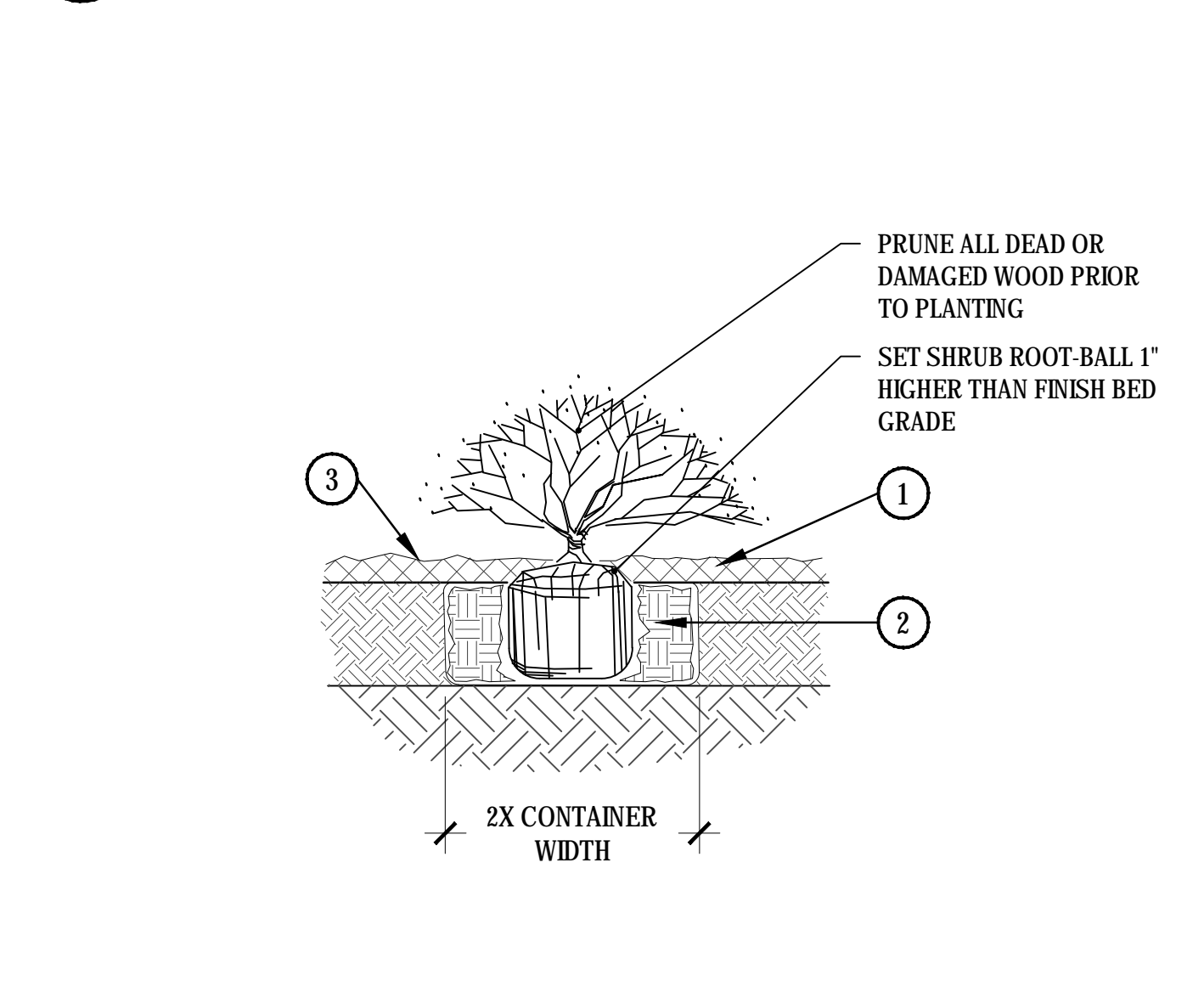
**2 BENDA BOARD EDGER** SCALE: 1" = 1'-0"

- FINISHED GRADE - TOP OF SOD THATCH LAYER AND TOP OF MULCH OR CRUSHER FINES SHALL BE FLUSH WITH TOP OF EDGER
- ① TURF THATCH
  - ② AMENDED SOIL PER SPECIFICATIONS
  - ③ SUBGRADE
- BENDER BOARD EDGER - DRILL (16) 1/2" DIA. HOLES 1" O.C. MIN. AT ALL LOW POINTS OR POORLY DRAINING AREAS IN ORDER TO ENSURE ADEQUATE DRAINAGE
- ④ EDGER STAKE
- NOTES:  
 1. THERE SHALL BE NO EXPOSED SHARP / JAGGED EDGES.  
 2. CONTRACTOR SHALL INSTALL STAKES AS REQUIRED BY THE MANUFACTURER.



**3 SPADE CUT EDGE** SCALE: 1/2" = 1'-0"

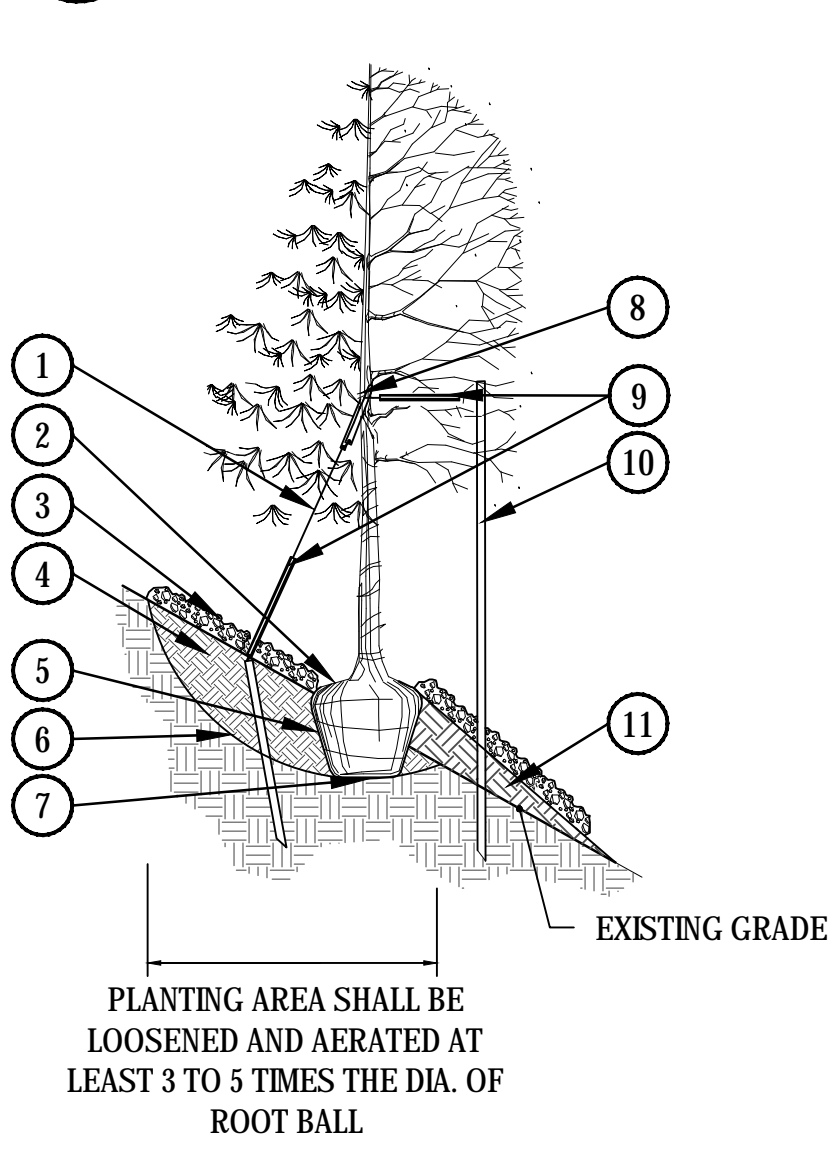
- ① TYPICALLY IRRIGATED TURFGRASS OR DRYLAND SEED
- ② VERTICAL SPADE CUT EDGE FILLED WITH SPECIFIED MULCH, TAPER EDGE OF BED SO MULCH IS DEEPER AGAINST SPADED EDGE.
- ③ SPECIFIED DEPTH OF MULCH (TYPICALLY WOOD MULCH 3"-4" DEEP)
- ④ PLANTING BED
- ⑤ IRRIGATION HEADS SHOULD BE LOCATED ADJACENT TO MULCH BEDS, OFFSET HEAD INTO GRASS AREA TO ENSURE STABLE SUPPORT.



**4 SHRUB PLANTING** SCALE: 1-1/2" = 1'-0"

- ① SPECIFIED MULCH
  - ② AMENDED SOIL IN PLANTING BED PER SPECIFICATIONS. TILL SOIL TO A DEPTH OF EIGHT INCHES.
  - ③ FINISH GRADE (TOP OF MULCH)
- PRUNE ALL DEAD OR DAMAGED WOOD PRIOR TO PLANTING  
 SET SHRUB ROOT-BALL 1" HIGHER THAN FINISH BED GRADE
- NOTE:  
 1. BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED  
 2. CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER  
 3. ALL JUNIPERS SHOULD BE PLANTED SO THE TOP OF THE ROOT-BALL OCCURS ABOVE THE FINISH GRADE OF THE MULCH LAYER  
 4. DIG PLANT PIT TWICE AS WIDE AND HIGH AS THE CONTAINER

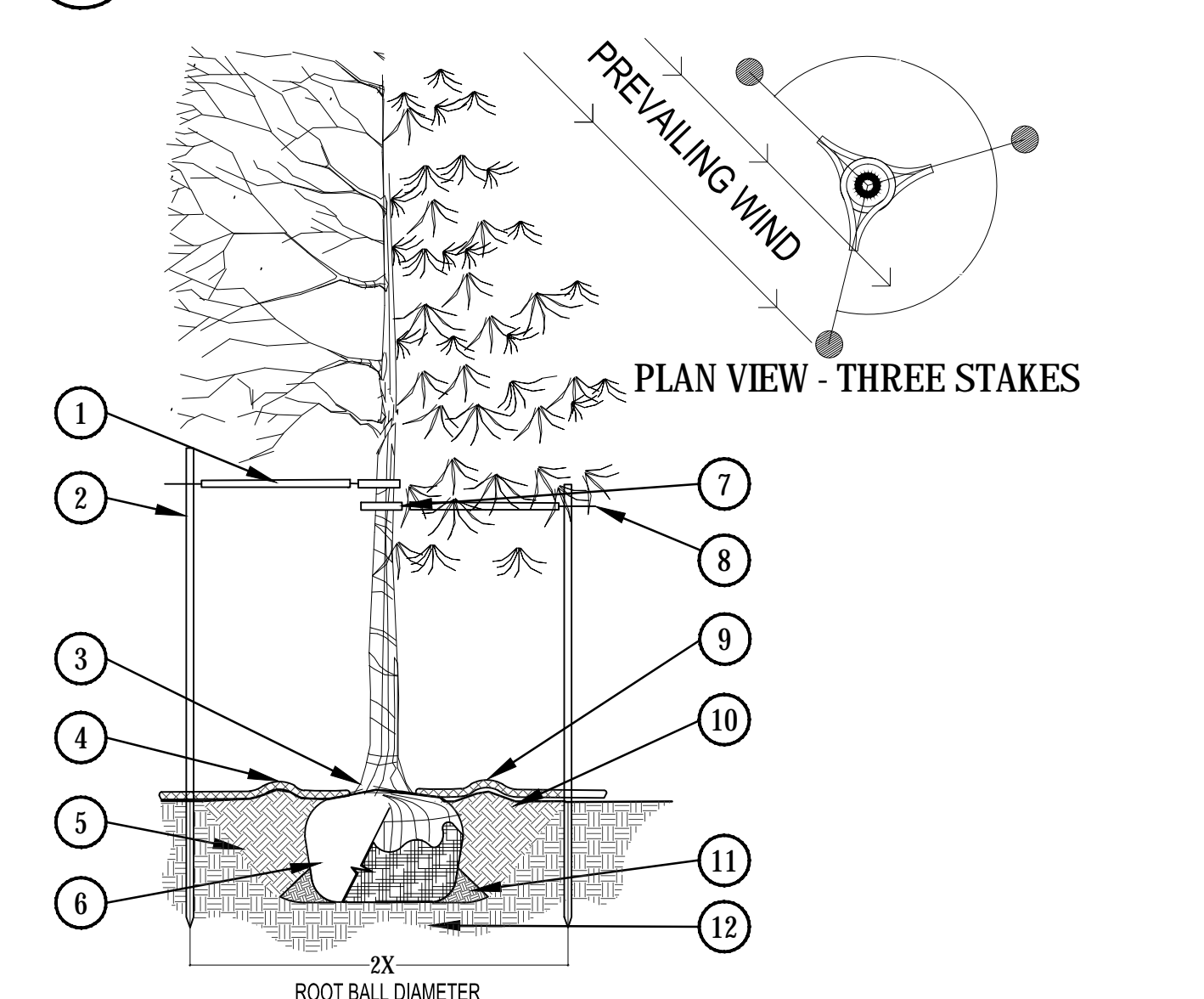
- PRUNING:  
 1. ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.  
 2. DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- NOTES:  
 1. EXCAVATE PLANTING HOLES WITH SLOPING SIDES. DO NOT DISTURB SOIL AT BOTTOM OF PLANTING HOLES, BUT DO SCORE THE SIDES OF THE PLANTING HOLE. MAKE EXCAVATIONS AT LEAST THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER AND LESS (THREE TO FIVE INCHES) THAN THE DISTANCE FROM THE TOP MOST ROOT IN THE ROOT BALL AND THE BOTTOM OF THE ROOT BALL. THE PLANTING AREA SHALL BE LOOSENEED AND AERATED AT LEAST THREE TO FIVE TIMES THE DIAMETER OF THE ROOT BALL. BACKFILL SHALL CONSIST OF EXISTING ON SITE SOIL - NO AMENDMENTS SHALL BE USED UNLESS OTHERWISE SPECIFIED.  
 2. TREES SHALL BE PLANTED WITH THE TOP MOST ROOT IN THE ROOT BALL 3" TO 5" HIGHER THAN THE FINISHED LANDSCAPE GRADE. THIS INCLUDES TREES THAT ARE SET ON SLOPES. SET ROOT BALL ON UNDISTURBED SOIL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE ROOTBALL WITH SOIL.  
 3. FORM SOIL INTO A 3" TO 5" TALL WATERING RING (SAUCER) AROUND PLANTING AREA. THIS IS NOT NECESSARY IN IRRIGATED TURF AREAS. APPLY 3" TO 4" DEPTH OF SPECIFIED MULCH INSIDE WATERING RING.  
 4. STAKE TREES PER DIAGRAM. AFTER A MINIMUM OF 3 YEARS CONFIRM TREE IS ESTABLISHED. CHECK FOR ROOTBALL STABILITY. APPLY HAND PRESSURE TO TRUNK OF TREE, WHEN ROOTBALL DOES NOT MOVE, REMOVE STAKING.  
 5. WIRE OR CABLE SHALL BE MIN. 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.  
 6. ADJUST STAKING, STRAPS AND GUY WIRES ANNUALLY.



**5 TREE PLANTING ON SLOPE** SCALE: 1/4" = 1'-0"

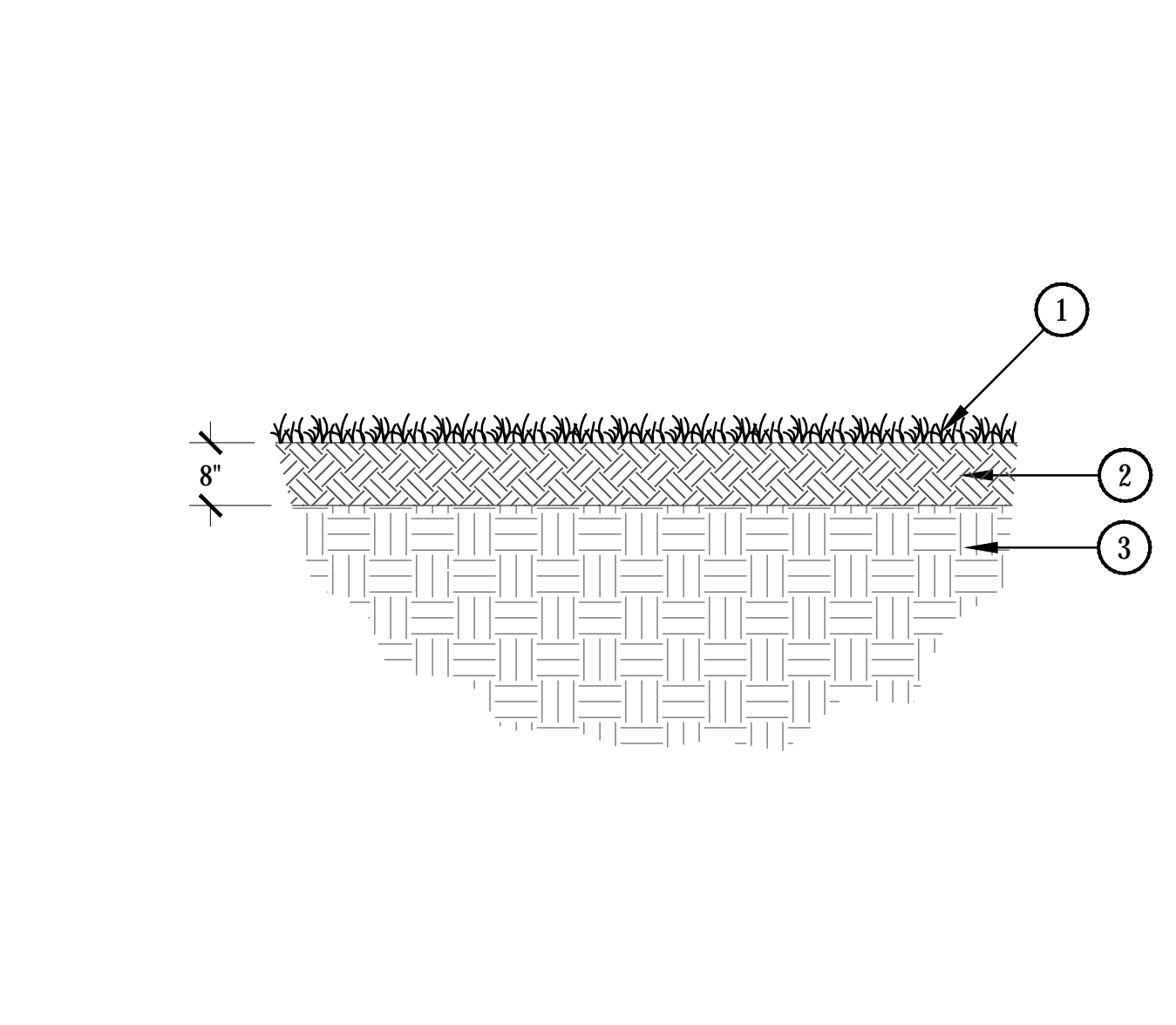
- ① PLACE MIN. 3/4" PVC PIPE AROUND EACH WIRE. EXPOSED WIRE SHALL BE MAX. 2" EACH SIDE
- ② INSTALL STAKING PER SPECIFICATIONS
- ③ PLANT TREE SO THAT FIRST ORDER MAJOR ROOT IS 1'-2" ABOVE FINAL GRADE.
- ④ 3" DEEP MULCH RING PLACED A MINIMUM OF 4 FT. IN DIAMETER ON TOP OF WEED FABRIC. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK (FINISHED GRADE REFERENCES TOP OF MULCH).
- ⑤ 1:1 SLOPE ON SIDES OF PLANTING HOLE.
- ⑥ REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM THE TOP 2/3 OF ROOTBALL
- ⑦ GROMMETED NYLON STRAPS
- ⑧ 4-6" HIGH WATER SAUCER IN NON-TURF AREAS.
- ⑨ BACKFILL WITH PLANT MIX. PLANT MIX SHALL CONSIST OF EQUAL PARTS TOPSOIL, COMPOST AND EXCAVATED SOIL. WATER THOROUGHLY WHEN BACKFILLING
- ⑩ PLACE SOIL AROUND ROOT BALL FIRMLY, DO NOT COMPACT OR TAMP. SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS.
- ⑪ PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT.

- ① USE GUY ASSEMBLIES FOR EVERGREENS AND TREES OVER 3" CAL. ALL WIRE TO BE MIN. 12 GAUGE GALVANIZED
- ② TOP MOST ROOT IN ROOTBALL: 1'-2" ABOVE EXISTING GRADE, UPHILL SIDE
- ③ 2-4" OF ORGANIC MULCH APPLIED OVER PLANTING AREA AND AWAY FROM THE TRUNK. FINISHED GRADE REFERENCES TOP OF MULCH
- ④ BACKFILL WITH PLANT MIX. PLANT MIX SHALL CONSIST OF EQUAL PARTS TOPSOIL, COMPOST AND EXCAVATED SOIL. WATER THOROUGHLY WHEN BACKFILLING
- ⑤ REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM THE TOP 2/3 OF ROOTBALL
- ⑥ SLOPE SIDED HOLE IS 3 TIMES AS WIDE AS THE ROOTBALL DIA
- ⑦ ROOTBALL TO SIT DIRECTLY ON TOP OF UNDISTURBED SOIL TO PREVENT SETTLEMENT.
- ⑧ GROMMETED NYLON STRAP
- ⑨ 24" x 3/4" P.V.C. MARKERS (TYPICAL) OVER WIRES
- ⑩ TREATED WOOD POST W/ GROMMETED NYLON STRAPS. USE 2 GUY WIRES
- ⑪ UNAMENDED TOPSOIL ADDED TO EXISTING GRADE ON DOWN HILL SIDE



**6 TREE PLANTING DETAIL** SCALE: 3/16" = 1'-0"

- PRUNING NOTES:  
 1. ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.  
 2. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- STAKING NOTES:  
 1. STAKE TREES PER DIAGRAM. AFTER A MINIMUM OF 3 THREE YEARS CONFIRM TREE IS ESTABLISHED. CHECK FOR ROOTBALL STABILITY. APPLY HAND PRESSURE TO TRUCK OF TREE, WHEN ROOTBALL DOES NOT MOVE, REMOVE STAKING.  
 2. WIRE OR CABLE SHALL BE MIN. 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.  
 3. ADJUST STAKING, STRAPS AND GUY WIRES ANNUALLY.



**7 TURF CROSS SECTION** SCALE: 3/4" = 1'-0"

- ① ECOLOTURF BY A-G SOD FARMS INC. OR APPROVED EQUAL
- ② AMENDED TOP SOIL. TILL TO A DEPTH OF 8".
- ③ SUBGRADE

CHECKED BY:  
 DRAWN BY:

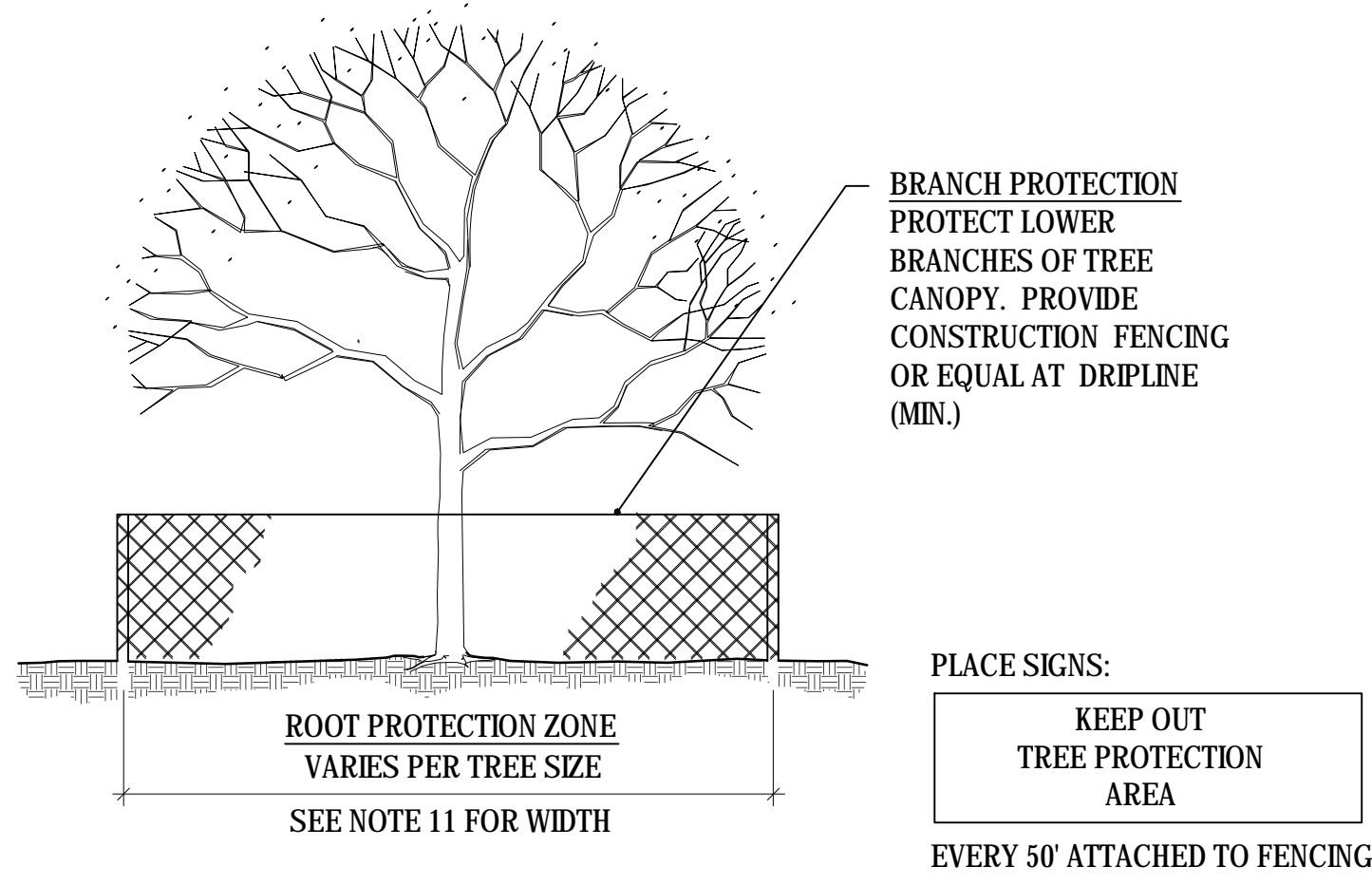
**NOT FOR CONSTRUCTION**



**DRAFT**

**TREE PROTECTION NOTES**

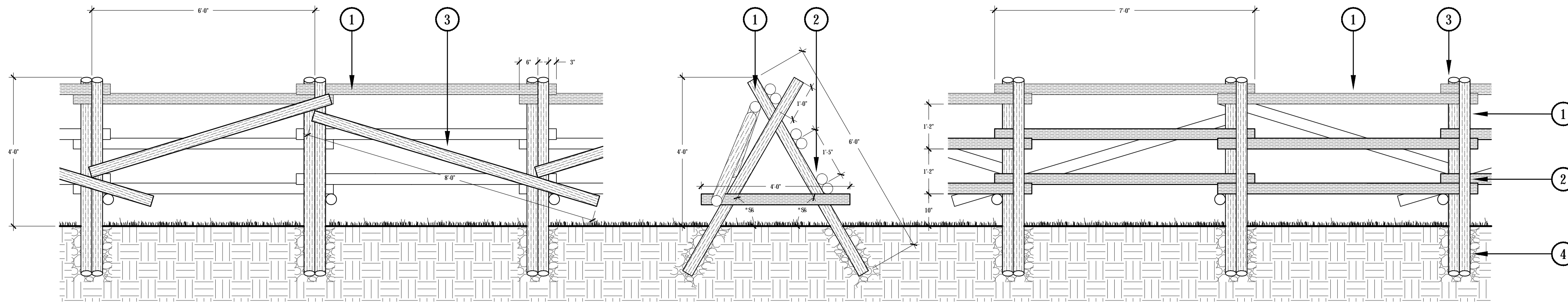
1. ALL TREES AND SHRUBS TO BE PROTECTED AND PRESERVED SHALL BE PER DETAIL. GROUPING OF MORE THAN ONE TREE MAY OCCUR.
2. TREES AND SHRUBS TO BE PROTECTED AND PRESERVED SHALL BE IDENTIFIED ON THE TRUNK WITH SURVEY TAPE.
3. TO PREVENT ROOT SMOTHERING, SOIL STOCKPILES, SUPPLIES, EQUIPMENT OR ANY OTHER MATERIAL SHALL NOT BE PLACED OR STORED WITHIN THE DRIP LINE OR WITHIN 15 FEET OF A TREE OR SHRUB TRUNK, WHICHEVER IS GREATER.
4. TREE AND SHRUB ROOTS SHALL NOT BE CUT UNLESS CUTTING IS UNAVOIDABLE.
5. TRENCHES SHALL BE HAND DUG WITHIN THE DRIP LINE IN AREAS WHERE ROOTS TWO INCHES IN DIAMETER AND GREATER ARE PRESENT, OR WHEN IN CLOSE PROXIMITY TO LOW BRANCHING TREES. WHENEVER POSSIBLE, ROOTS TWO INCHES OR GREATER IN DIAMETER SHALL BE TUNNELED OR BORED UNDER AND SHALL BE COVERED TO PREVENT DEHYDRATION.
6. WHEN ROOT CUTTING IS UNAVOIDABLE, A CLEAN SHARP CUT SHALL BE MADE TO AVOID SHREDDING OR SMASHING. ROOT CUTS SHOULD BE MADE BACK TO A LATERAL ROOT. WHENEVER POSSIBLE, ROOTS SHOULD BE CUT BETWEEN LATE FALL AND BUD OPENING, WHEN ROOT ENERGY SUPPLIES ARE HIGH AND CONDITIONS ARE LEAST FAVORABLE FOR DISEASE CAUSING AGENTS. EXPOSED ROOTS SHALL BE COVERED IMMEDIATELY TO PREVENT DEHYDRATION. ROOTS SHALL BE COVERED WITH SOIL OR BURLAP AND KEPT MOIST.
7. WATERING OF PROTECTED TREES IN WHICH ROOTS WERE CUT SHALL BE PROVIDED BY THE CONTRACTOR.
8. AUGER TUNNELING RATHER THAN TRENCHING SHOULD BE USED FOR UTILITY PLACEMENT WITHIN DRIP LINE.
9. FENCING MATERIAL SHALL ENCIRCLE ANY TREE OR SHRUB WHOSE OUTER DRIP LINE EDGE IS WITHIN 20 FEET OF ANY CONSTRUCTION ACTIVITIES.
10. FENCING MATERIAL SHALL BE BRIGHT, CONTRASTING COLOR, DURABLE, AND A MINIMUM OF FOUR FEET IN HEIGHT.
11. FENCING MATERIAL SHALL BE SET AT THE DRIP LINE OR 15 FEET FROM TREE TRUNK, WHICHEVER IS GREATER, AND MAINTAINED IN AN UPRIGHT POSITION THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.
12. ANY GRADE CHANGES (SUCH AS THE REMOVAL OF TOPSOIL OR ADDITION OF FILL MATERIAL) WITHIN THE DRIP LINE SHOULD BE AVOIDED FOR EXISTING TREES TO REMAIN. RETAINING WALLS AND TREE WELLS ARE ACCEPTABLE ONLY WHEN CONSTRUCTED PRIOR TO GRADE CHANGE.



**1 TREE AND SHRUB PROTECTION**

SCALE: 1/8" = 1'-0"

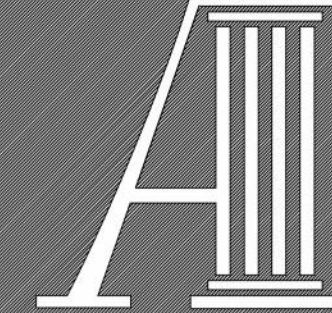
- 1 ALL WOOD SHALL BE ROUGH SAWN, 3"-4" DIAMETER TREATED POSTS
- 2 SECURE ALL WOOD MEMBERS WITH 60d GALVANIZED RINK SHANK NAILS OR EQUAL
- 3 OVERLAP AND ALTERNATE RAILS AND SUPPORTS AS SHOWN
- 4 SET POSTS IN GRAVEL BASE



**2 BUCK AND RAIL FENCE**

SCALE: 1/2" = 1'-0"

NOT FOR CONSTRUCTION



**ARAPAHOE**  
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**DILLON RIDGE VISTAS**  
**12 UNIT BUILDING - BLOCK 6**  
DILLON, COLORADO

PERSPECTIVE

JOB 1611

DWN BY LP

ISSUE

05/02/17 DURA WORK SESSION

05/24/17 SITE/PUD

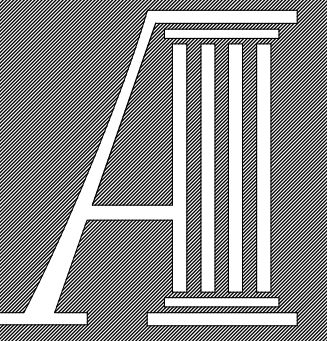
SHEET

A-1



1 PERSPECTIVE  
A-1 NOT TO SCALE

PTC DATE: 5/23/2017  
G:\AA Arch\Project\2015\2016\1611 - Dillon Ridge Homes\Drawings\Arch  
Drawing\12 UNIT Condo Bldg 1611 - DILLON RIDGE HOMES - 12 Unit Building  
P.E. 738



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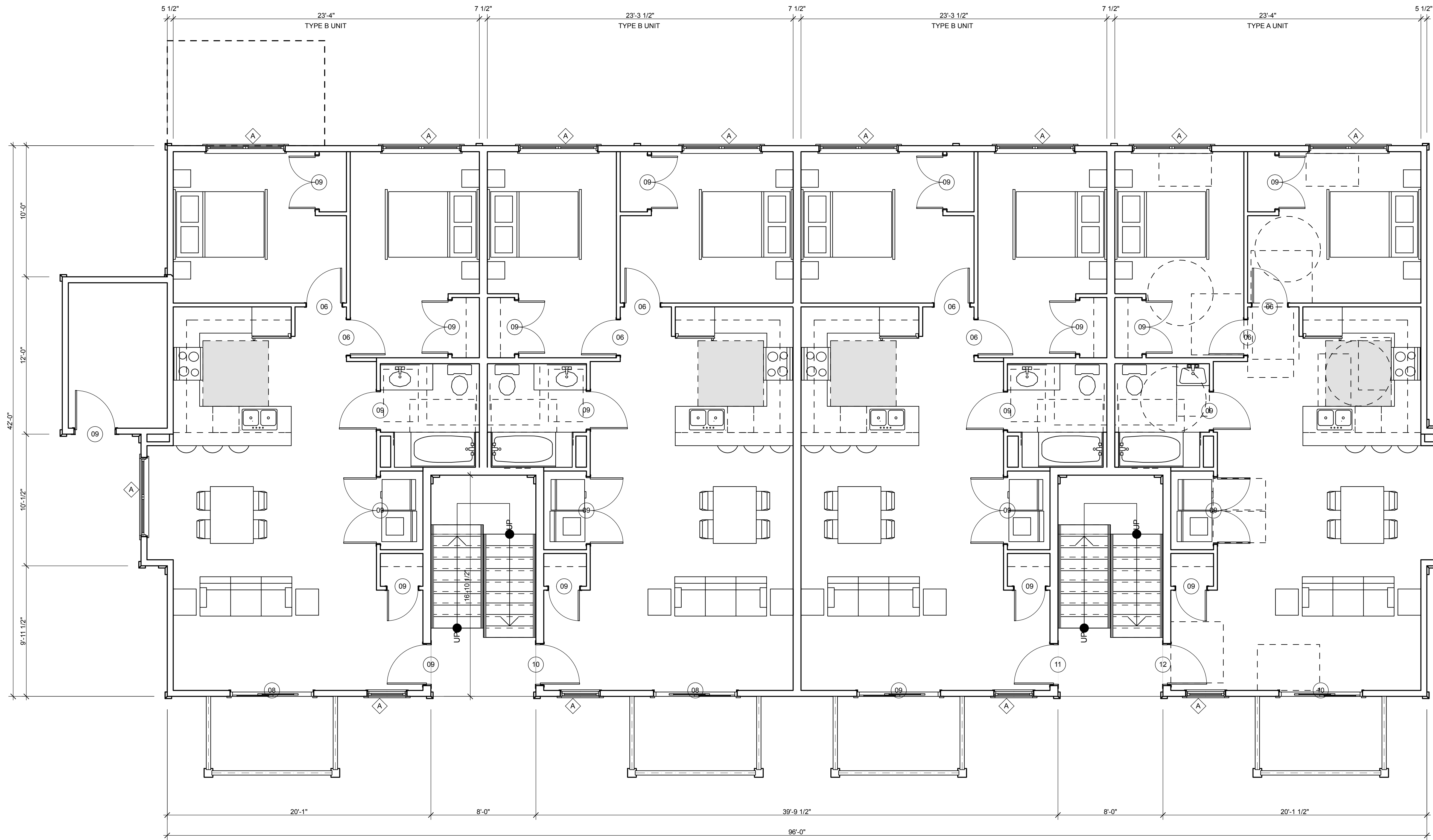
**DILLON RIDGE VISTAS**  
**12 UNIT BUILDING - BLOCK 6**  
DILLON, COLORADO

1ST FLOOR  
PLAN

JOB 1611  
DWN BY LP  
ISSUE  
05/02/17 DURA WORK SESSION  
06/05/17 SITE/PUD

SHEET

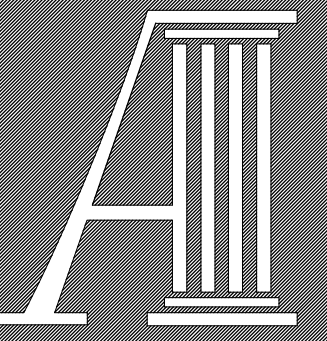
A-2



**1**  
**A-2** 1ST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



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PLOT DATE: 6/5/2017  
FILE: 7.rvt



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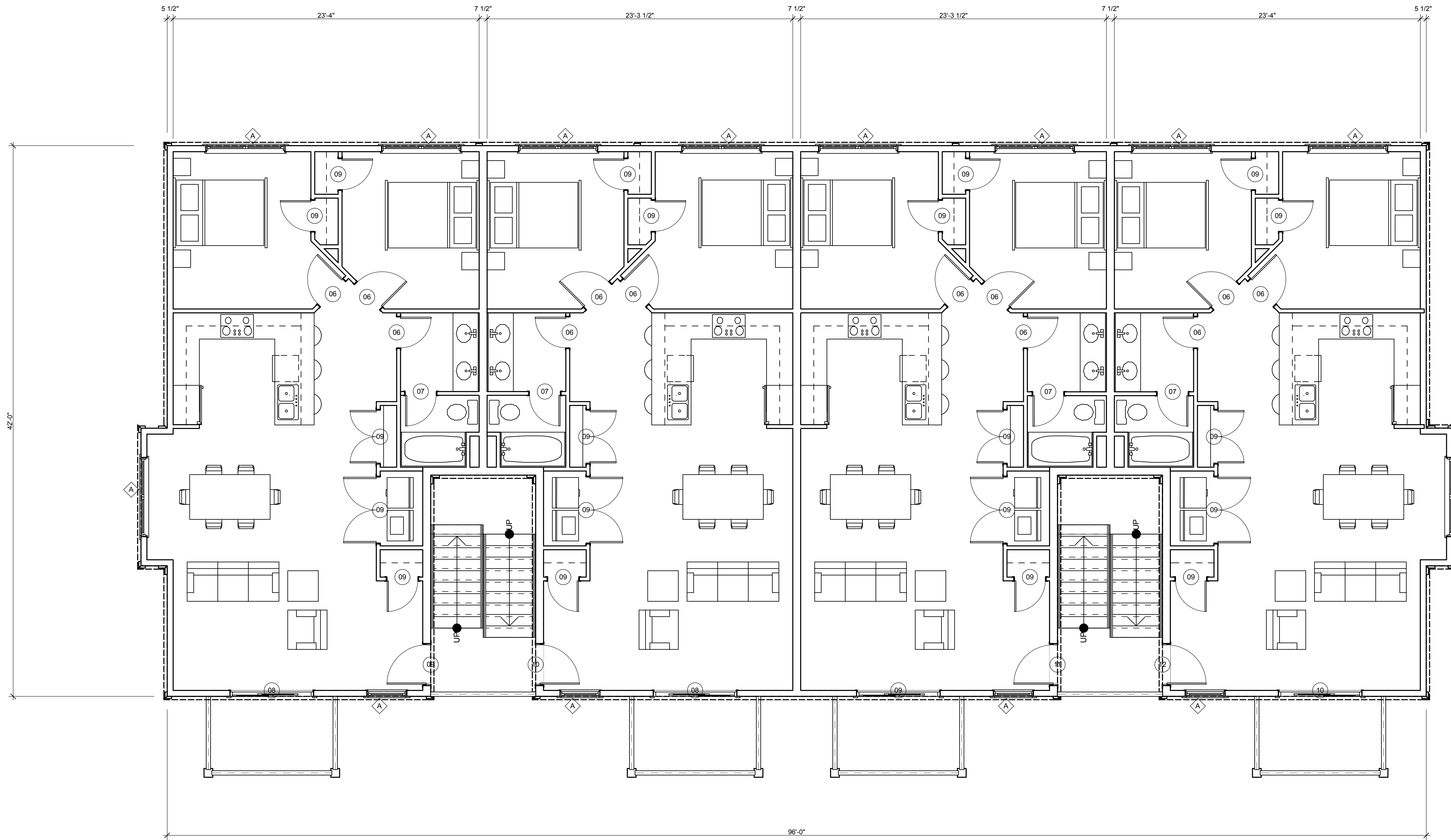
**DILLON RIDGE VISTAS**  
**12 UNIT BUILDING - BLOCK 6**  
DILLON, COLORADO

**2ND & 3RD  
FLOOR PLAN**

JOB 1611  
DWN BY LP  
ISSUE  
05/02/17 DURA WORK SESSION  
06/05/17 SITE/PUD

SHEET

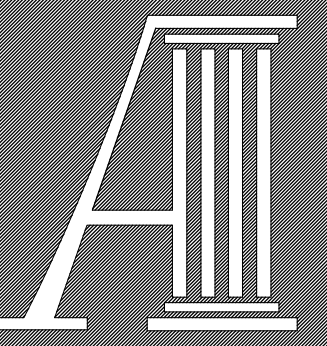
**A-3**



**2**  
**A-3** 2ND & 3RD FLOOR PLAN  
SCALE: 1/4" = 1'-0"



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PLOT DATE: 6/5/2017  
FILE: 7.dwg



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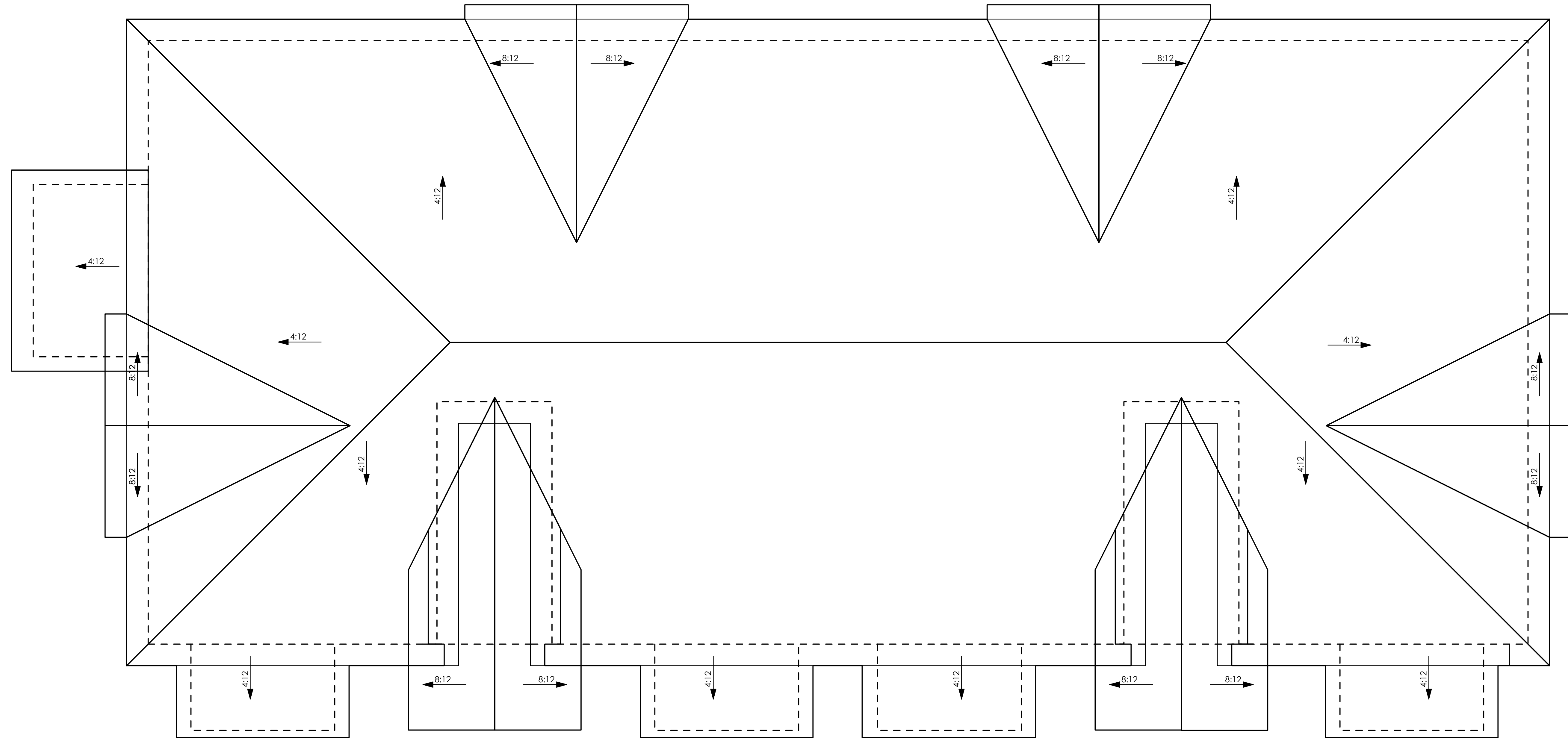
**DILLON RIDGE VISTAS**  
**12 UNIT BUILDING - BLOCK 6**  
DILLON, COLORADO

ROOF PLAN

JOB 1611  
DWN BY LP  
ISSUE  
05/02/17 DURA WORK SESSION  
06/05/17 SITE/PUD

SHEET

A-5

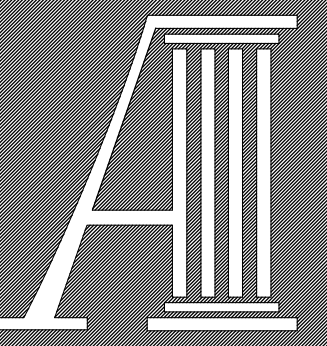


**1**  
**A-5** ROOF PLAN  
SCALE: 1/4" = 1'-0"



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Drawings\12 Unit Condo Bldg\1611 - DILLON RIDGE HOMES - 12 Unit Building  
FILE: 7.dwg PLOT DATE: 6/5/2017





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**DILLON RIDGE VISTAS**  
**12 UNIT BUILDING - BLOCK 6**  
DILLON, COLORADO

**BUILDING  
ELEVATIONS**

JOB 1611  
DWN BY LP  
ISSUE  
05/02/17 DURR WORK SESSION  
06/05/17 SITE/PUD

SHEET

**A-6**

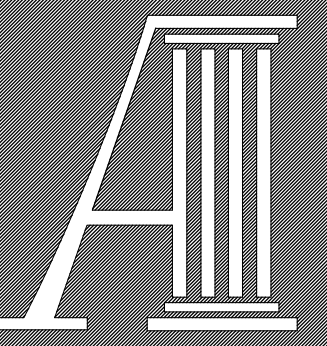


**1 FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

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Drawings\12 Unit Condo Block 6\1611 - DILLON RIDGE HOMES - 12 Unit Building  
FILE: 7.dwg PLOT DATE: 6/5/2017



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**12 UNIT BUILDING - BLOCK 6**  
DILLON, COLORADO

BUILDING  
ELEVATIONS

JOB 1611  
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ISSUE  
05/02/17 DURA WORK SESSION  
06/05/17 SITE/PUD

SHEET

A-7



**1 REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

CV:AA:Arch\Project 2015\2015\1611 - Dillon Ridge Homes\Drawings\Arch  
Drawings\12 Unit Condo Block 6\1611 - DILLON RIDGE HOMES - 12 Unit Building  
FILE: 7.dwg PLOT DATE: 6/5/2017

Arapahoe Architects  
322C N Main St  
Breckenridge, CO 80424  
**Job Number:** 1611  
**Date:** 06/05/2017

**Dillon Ridge Vistas**  
**Block 6**  
Silverthorne, CO

Sheet:  
**CBD-1**

**MATERIALS**

**COLOR**

**SAMPLE**

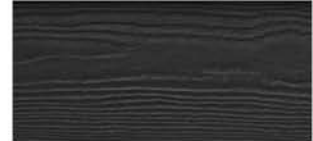
**ROOF**  
Composite Asphalt  
Shingle

Timberline HD  
"Mission Brown"



**FASCIA AND TRIM**  
1x4 on 5/4  
Window and Corner Trim

"Iron Gray"



**PRIMARY SIDING**  
1x8 Cement Lap Siding

"Chestnut Brown"



**ACCENT SIDING**  
Vertical 3/8 on 4x8  
Cement Sheet

"Gray Slate"



**DOORS & WINDOWS**  
Vinyl

"Dark Bronze"



**BEAMS, COLUMNS & NEWELS**  
Rough Sawn Timber

Pratt & Lambert  
Semi-Trans  
"Maple's Bark"



**DECKING**  
Composite Wood

"Cedar"



Arapahoe Architects  
322C N Main St  
Breckenridge, CO 80424  
**Job Number:** 1611  
**Date:** 06/05/2017

**Dillon Ridge Vistas**  
**Block 6**  
Silverthorne, CO

Sheet:

CBD-2

**MATERIALS**

**COLOR**

**SAMPLE**

**ROOF**

Composite Asphalt  
Shingle

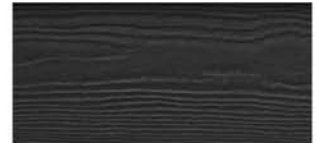
Timberline HD  
"Mission Brown"



**FASCIA AND TRIM**

1x4 on 5/4  
Window and Corner Trim

"Iron Gray"



**PRIMARY SIDING**

1x8 Cement Lap Siding

"Monterey Taupe"



**ACCENT SIDING**

Vertical 3/8 on 4x8  
Cement Sheet

"Chestnut Brown"



**DOORS & WINDOWS**

Vinyl

"Dark Bronze"



**BEAMS, COLUMNS &  
NEWELS**

Rough Sawn Timber

Pratt & Lambert  
Semi-Trans  
"Maple's Bark"



**DECKING**

Composite Wood

"Cedar"





Arapahoe Architects P.C.  
P.O. BOX 4780  
322C North Main St.  
Breckenridge, CO 80424

## Lighting Cut Sheet

|                            |                                    |
|----------------------------|------------------------------------|
| <b>MANUFACTURER:</b>       | Portfolio Dovray                   |
| <b>SERIES:</b>             | Outdoor Wall Light                 |
| <b>MODEL:</b>              | FS130125-29                        |
| <b>LAMP &amp; WATTAGE:</b> | Standard Edison Screw<br>based 60W |
| <b>MOUNTING:</b>           | Wall                               |
| <b>STYLE:</b>              | Oil-Rubbed Bronze                  |
| <b>APPLICATION:</b>        | Exterior                           |
| <b>DARK SKY FEATURE:</b>   | Full Cut-Off                       |
| <b>DIMENSIONS:</b>         | 7.75"H x 7.85"W x 8.9"D            |



Submitted by Illumination Systems, Inc

**Catalog Number:**  
GLEON-AF-01-LED-E1-T4FT-BZ

**Type:**

1

ISI16-64780



**Job Name:**  
Deinison Employee Housing

Notes:

# McGraw-Edison

## DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL/cUL Listed for wet locations.

|             |  |      |  |
|-------------|--|------|--|
| Catalog #   |  | Type |  |
| Project     |  | Date |  |
| Comments    |  |      |  |
| Prepared by |  |      |  |

## SPECIFICATION FEATURES

### Construction

Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

### Optics

Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 3000K, 5000K and 6000K CCT.

### Electrical

LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 600mA, 800mA and 1200mA drive currents (nominal).

### Mounting

**STANDARD ARM MOUNT:** Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the

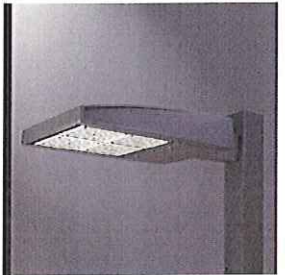
arm mounting requirement table. Round pole adapter included. For wall mounting, specify wall mount bracket option. **QUICK MOUNT ARM:** Adapter is bolted directly to the pole. Quick mount arm slide into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

### Finish

Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

### Warranty

Five-year warranty.

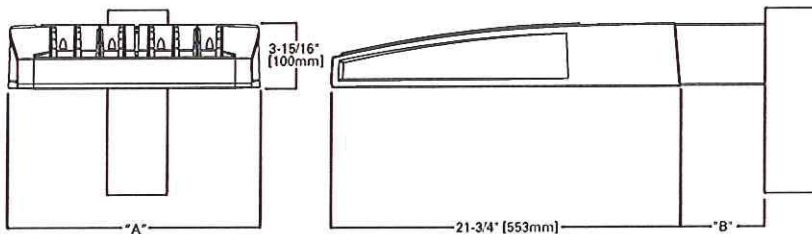


## GLEON GALLEON LED

1-10 Light Squares  
Solid State LED

AREA/SITE LUMINAIRE

## DIMENSIONS

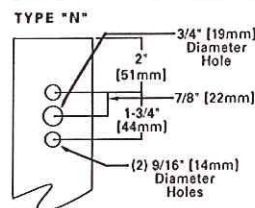


## DIMENSION DATA

| Number of Light Squares | "A" Width       | "B" Standard Arm Length | "B" Optional Arm Length <sup>1</sup> | Weight with Arm (lbs.) | EPA with Arm <sup>2</sup> (Sq. Ft.) |
|-------------------------|-----------------|-------------------------|--------------------------------------|------------------------|-------------------------------------|
| 1-4                     | 15-1/2" (394mm) | 7" (178mm)              | 10" (254mm)                          | 33 (15.0 kgs.)         | 0.96                                |
| 5-6                     | 21-5/8" (549mm) | 7" (178mm)              | 10" (254mm)                          | 44 (20.0 kgs.)         | 1.00                                |
| 7-8                     | 27-5/8" (702mm) | 7" (178mm)              | 13" (330mm)                          | 54 (24.5 kgs.)         | 1.07                                |
| 9-10                    | 33-3/4" (857mm) | 7" (178mm)              | 16" (406mm)                          | 63 (28.6 kgs.)         | 1.12                                |

NOTES: 1. Optional arm length to be used when mounting two fixtures at 90° on a single pole. 2. EPA calculated with optional arm length.

## DRILLING PATTERN



## CERTIFICATION DATA

UL/cUL Wet Location Listed  
ISO 9001  
LM79 / LM80 Compliant  
3G Vibration Rated  
IP66 Rated

## ENERGY DATA

Electronic LED Driver  
>0.9 Power Factor  
<20% Total Harmonic Distortion  
120V-277V 50/60Hz  
347V & 480V 60Hz  
-40°C Min. Temperature  
40°C Max. Temperature  
60°C Max. Temperature (HA Option)



TD500020EN  
2016-08-23 08:01:04

Submitted by Illumination Systems, Inc

**Catalog Number:**  
GLEON-AF-01-LED-E1-T4FT-BZ

**Type:**

1

ISI16-64780



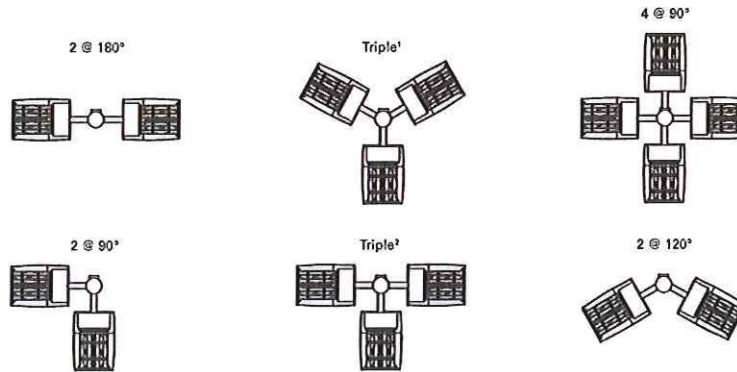
**Job Name:**  
Deinison Employee Housing

Notes:

**GLEON GALLEON LED**

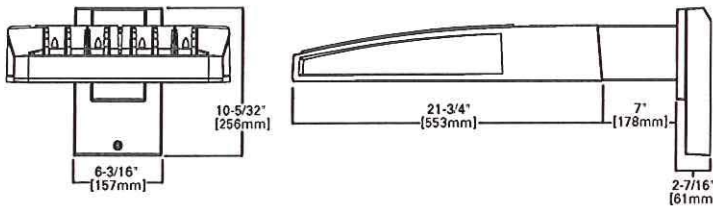
**ARM MOUNTING REQUIREMENTS**

| Configuration | 90° Apart                   | 120° Apart                  |
|---------------|-----------------------------|-----------------------------|
| GLEON-AF-01   | 7' Arm (Standard)           | 7' Arm (Standard)           |
| GLEON-AF-02   | 7' Arm (Standard)           | 7' Arm (Standard)           |
| GLEON-AF-03   | 7' Arm (Standard)           | 7' Arm (Standard)           |
| GLEON-AF-04   | 7' Arm (Standard)           | 7' Arm (Standard)           |
| GLEON-AF-05   | 10' Extended Arm (Required) | 7' Arm (Standard)           |
| GLEON-AF-06   | 10' Extended Arm (Required) | 7' Arm (Standard)           |
| GLEON-AF-07   | 13' Extended Arm (Required) | 13' Extended Arm (Required) |
| GLEON-AF-08   | 13' Extended Arm (Required) | 13' Extended Arm (Required) |
| GLEON-AF-09   | 16' Extended Arm (Required) | 16' Extended Arm (Required) |
| GLEON-AF-10   | 16' Extended Arm (Required) | 16' Extended Arm (Required) |

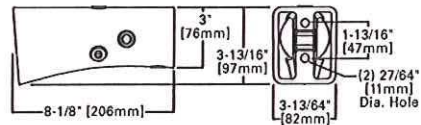


NOTES: 1 Round poles are 3 @ 120°. Square poles are 3 @ 90°. 2 Round poles are 3 @ 90°.

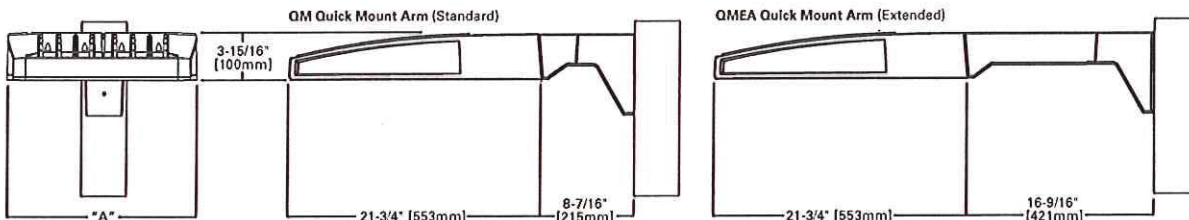
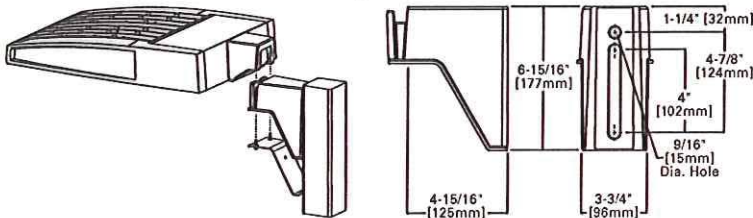
**STANDARD WALL MOUNT**



**MAST ARM MOUNT**



**QUICK MOUNT ARM (INCLUDES FIXTURE ADAPTER)**



**QUICK MOUNT ARM DATA**

| Number of Light Squares 1,2 | "A" Width       | Weight with QM Arm (lbs.) | Weight with QMEA Arm (lbs.) | EPA (Sq. Ft.) |
|-----------------------------|-----------------|---------------------------|-----------------------------|---------------|
| 1-4                         | 15-1/2" (394mm) | 35 (15.91 kgs.)           | 38 (17.27 kgs.)             | 1.11          |
| 5-6 <sup>3</sup>            | 21-5/8" (549mm) | 46 (20.91 kgs.)           | 49 (22.27 kgs.)             |               |
| 7-8                         | 27-5/8" (702mm) | 56 (25.45 kgs.)           | 59 (26.82 kgs.)             |               |

NOTES: 1 QM option available with 1-8 light square configurations. 2 QMEA option available with 1-6 light square configurations. 3 QMEA arm to be used when mounting two fixtures at 90° on a single pole.



Eaton  
1121 Highway 74 South  
Peachtree City, GA 30269  
P. 770-439-4900  
www.eaton.com/lighting

Specifications and dimensions subject to change without notice

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2016-08-23 08:01:04



**BLOCK 6 PLANNED UNIT DEVELOPMENT AGREEMENT  
AMENDMENT TO THE DILLON RIDGE MARKETPLACE  
PLANNED UNIT DEVELOPMENT**

**THIS BLOCK 6 PLANNED UNIT DEVELOPMENT AGREEMENT AMENDMENT TO THE DILLON RIDGE MARKETPLACE PLANNED UNIT DEVELOPMENT** (“Agreement”) is made and entered into this 15<sup>th</sup> day of August, 2017 by and between the TOWN OF DILLON, a Colorado municipal corporation (hereinafter referred to as “Dillon” or the “Town”) and DILLON RIDGE INVESTMENTS, LLC, a Colorado Limited Liability Company (hereinafter referred to as the “Developer”).

**WHEREAS**, the Town previously approved the Dillon Ridge Marketplace Planned Unit Development (the “**DRM PUD**”); and

**WHEREAS**, Developer has submitted a Level IV development application for the Block 6 Amendment to the Dillon Ridge Marketplace Planned Unit Development (the “**Block 6 Amendment**”) for the real property owned by Developer and legally described as follows:

Block 6, DILLON RIDGE MARKETPLACE REPLAT B, according to the Plat of Dillon Ridge Marketplace Replat B recorded July 15, 1998 as Reception No. 570108 and the Plat of Dillon Ridge Marketplace Replat D recorded March 24, 2004 as Reception No. 750675, COUNTY OF SUMMIT, STATE OF COLORADO (the “**Property**”); and

**WHEREAS**, Developer desires to construct the Dillon Vistas Apartment Complex on the Property, consisting of thirty-six (36) residential rental apartments located on Block 6, Dillon Ridge Marketplace Planned Unit Development, New Town of Dillon, Town of Dillon, Colorado, (the “**Development**”); and

**WHEREAS**, Developer has submitted a Level IV Development Permit Application and a site plan for all common site plan improvements necessary for the Development, a copy of which is attached hereto, marked as Exhibit “A.” and incorporated herein by reference (the “**Site Plan**”); and

**WHEREAS**, Developer has also submitted a set of site construction documents which include site layout, grading, erosion control, drainage, utility plan and detail sheets for the Development, copies of which are attached hereto, marked as Exhibit “B.” and incorporated herein by reference (the “**Development Plan**”); and

**WHEREAS**, Developer has also submitted a set of architectural building elevations, a color rendering and floor plans for the Development, copies of which are attached hereto, marked as Exhibit “C.” and incorporated herein by reference (the “**Architectural Plan**”); and

**WHEREAS**, Developer has also submitted a set of landscape plans and details for the Development, copies of which are attached hereto, marked as Exhibit “D,” and incorporated herein by reference (the “**Landscape Plan**”); and

**WHEREAS**, Developer has also submitted a metes and bounds legal property description for the utility easement and a sketch of the utility easement for the Development, copies of which are attached hereto, marked as Exhibit “E,” and incorporated herein by reference (the “**Utility Easement**”); and

**WHEREAS**, Developer has also submitted a detailed list of the public improvements and an estimated cost of public improvements required for the Development, copies of which are attached hereto, marked as Exhibit “G,” and incorporated herein by reference (the “**Improvements and Estimated Cost of Improvements**”); and

**WHEREAS**, the Block 6 Amendment has been reviewed by the Town of Dillon Planning and Zoning Commission, and approved by the Planning and Zoning Commission pursuant to Resolution PZ07-17, Series of 2017, following a public hearing held on June 28, 2017; and

**WHEREAS**, the Block 6 Amendment has been reviewed by the Town of Dillon Town Council (“**Town Council**”), and approved by the Town Council pursuant to Resolution xx-17, Series of 2017 following a public hearing held on August 15, 2017; and

**WHEREAS**, the Town Council has attached certain additional Conditions of Approval to the approval of the Block 6 Amendment application, as such are stated and set forth in Town Council Resolution xx-17, Series of 2017, a copy of which Resolution is attached hereto, marked as Exhibit “H,” and incorporated herein by reference (the “**Resolution and Conditions of Approval**”); and

**WHEREAS**, the approval of the Block 6 Amendment requires that the Developer enter into this Agreement with the Town to ensure that the Block 6 Amendment requirements as set forth herein, the Conditions of Approval and the requirements of the Development are complied with, and requiring that the Developer provide certain assurances that the public improvements associated with the Development are completed.

**NOW, THEREFORE**, in consideration of the foregoing, and the mutual promises contained herein, the parties hereto promise, covenant and agree as follows:

## **SECTION I. CONDITIONS:**

### **A. DEVELOPER OBLIGATIONS AND IMPROVEMENTS:**

1. Developer shall design, construct, install, and pay for, according to the Town approved plans set forth in Exhibits “A,” “B,” “C,” and “D,” all common Site Plan public improvements as specifically set forth in Section 1.A.3., herein below and on Exhibit “A,” and approved as the Block 6 Amendment, such Site Plan

public improvements hereinafter referred to as the “**Improvements.**” The Improvements shall be constructed in accordance with the Site Plan, Development Plan, Architectural Plan and Landscape Plan. In addition the Developer shall install all new utilities, including drainage facilities as approved by the Town as a component of the Development, and relocate existing utilities as necessary and as directed by the Town. These utility and drainage improvements and relocations shall be in accordance with the Development Plan, Landscape Plan and the Town of Dillon Construction Specifications (as defined herein, below).

2. Developer shall grant a utility easement, as legally described on Exhibit “E,” to the Town by separate instrument, in the form marked Exhibit “F,” attached hereto and incorporated herein by this reference (the “**Utility Easement Form**”). The utility easement shall be signed by the Developer and granted to the Town at the time of approval of the Block 6 Amendment by the Town Council.

3. Developer shall construct the following Improvements on the Development Property in accordance with the Site Plan and the Development Plan, as such plans are set forth on Exhibits “A” and “B,” at Developer’s sole cost.

- a. Remove the existing concrete curb & gutter and concrete sidewalks necessary for the installation of a new concrete curb cut along Lookout Ridge Road.
- b. Install a new 6” Ductile Iron Fire Hydrant lateral, fire hydrant and all required fittings and appurtenances, and connect the new fire hydrant lateral to the existing main stubbed into the Development Property.

4. Developer shall modify the Site Plan, Development Plan, Construction Plan, Architectural Plan (Exhibits “A,” “B,” “C,” and “D”) in accordance with the additional Conditions of Approval placed on the Development by the Town Council in Resolution **xx**-17, Series of 2017, as referenced in Exhibit “H”.

5. Developer shall provide traffic control plans, devices, advanced warning signs, and flaggers in conformance with the most current Manual of Uniform Traffic Control Devices (“**MUTCD**”) and per Town requirements for any work in Town rights-of way, and for hauling operations into and out of the Development Property.

6. Developer shall provide and install all erosion control best management practices (“**BMP**”) as shown on the approved grading and drainage plans, contained in Exhibit “B”. Developer shall maintain all erosion control devices on a daily basis. Developer shall remove all material, dirt and debris tracked onto Town streets by 4:00 p.m. each day. Developer shall pay a Five Hundred Dollar (\$500.00) per day fine for each day tracked material is left on Town streets past 6:00 p.m.

7. All construction as required herein shall be performed in accordance with the Town of Dillon Construction Specifications, adopted by the Town, which

construction specifications are on file at the Town of Dillon (the “**Town of Dillon Construction Specifications**”).

8. Water and Sewer Equivalent Residential Units. The Developer shall pay all applicable water tap and sewer tap fees for the total number of Equivalent Residential Units (“**EQRs**”) required for the Development prior to issuance of a building permit. The total number of EQRs required for the Development are as follows:

Twenty-eight and eight/tenths (28.8) water tap EQRs; and,  
Twenty-eight and eight/tenths (28.8) sewer tap EQRs.

The water tap and sewer tap fees shall be the then current water tap and sewer tap fees adopted by the Town in Section 19 of the Town of Dillon Municipal Code (“**Code**”) at the time of payment.

9. Grading & Excavation Permit. The Developer shall obtain a grading and excavation permit prior to commencing construction.

10. Affordable Housing Development Impact Fee. The Developer shall pay all required affordable housing development impact fees prior to the issuance of a building permit. The fee shall be based on the then current fees adopted by Summit County Government at the time of payment.

11. Since the Property is over one (1) acre in size, the Developer shall obtain the required “Stormwater Discharge Associated with Construction Activities” Permit issued by the Colorado Department of Public Health and Environment. The Developer shall submit a copy of this permit from the state as well as the erosion control plan to the Town Engineer prior to starting construction of the Development.

12. Parking Space Use Restrictions. The residential and commercial parking spaces located on the Development Property may not be used for the storage of any vehicle or non-vehicle items, including, but not limited to storage sheds, trailers, boats, kayaks, ATVs or recreational equipment, construction equipment or any other vehicle or non-vehicle items. This parking space use restriction must be included in all ownership association documents created for the Development. All ownership association documents created for the Development shall be presented to the Town upon their adoption, but no later than the issuance of the first Certificate of Occupancy for the Development.

13. Master Sign Plan. The Developer shall submit an application for a final master sign plan for the Development to the Town for review and approval and pay all required fees associated therewith. Each individual sign will require a separate individual sign permit and an associated fee as required by the Code.

14. Prior to the issuance of a grading and excavation permit or a building permit for the Development, the Developer shall submit the following updated

Development Plans, Site Plans, and construction plans for the Development to the Town for review and approval:

- a. Final Retaining Wall Construction Plans and Details, and a global stability analysis demonstrating that the tiered retaining wall system is stable. These plans and reports must be prepared and signed by a Colorado Licensed Civil Engineer.

#### 15. Retaining Wall Design

- a. The Developer shall submit final retaining wall drawings to the Town Engineer for review and approval prior to construction. The wall drawings shall be prepared by a Colorado registered Professional Engineer. A global stability analysis, with sections cut through the series of tiered walls, must also be prepared to demonstrate the stability of the wall system and the hillside.
- b. The retaining wall system shall be constructed of Redi-Rock segmental block units utilizing the “LEDGESTONE” texture. The Developer shall submit a color sample of the proposed block material to the Town Engineer for approval prior to construction. The color shall be an earth tone in the beige/brown color spectrum.

#### 16. Exterior Lighting

- a. All exterior lighting shall have full cutoff light fixtures.
- b. Exterior Building Wall Lights shall be Portfolio Dovray Model FS130125-29.
- c. Parking Lot site lighting shall be McGraw-Edison Gleon Galleon LED Catalog Number GLEON-AF-01-LED-E1-T4FT-BZ. The height of the Light fixture shall not exceed 15’ as measured from the bottom surface of the light fixture lens to the ground directly below the fixture.
- d. Copies of the approved lighting fixture cut sheets are attached hereto, marked as Exhibit “J” and incorporated herein by reference; (the “**Site Lighting Fixtures**”).

#### 17. Off-Street Parking.

- a. The Code requires two (2) parking spaces on the Property for every two (2) bedroom unit. The parking requirement for thirty-six (36), two (2) bedroom apartment units is, therefore, seventy-two (72) parking spaces.
- b. The Development shall provide on the Property Seventy-Three (73) parking spaces, which shall include three (3) accessible parking spaces.

The Seventy-Three (73) parking spaces shall be dedicated for use by the residents of the Development.

**B. USES ALLOWED:**

The Developer shall be allowed the following uses in the Development:

1. A 100% residential apartment complex without a commercial component.

**C. BUILDING HEIGHTS ALLOWED:**

The Developer shall be allowed the following building heights in the Development:

1. Buildings shall not exceed 35' in height.

**D. YARD SETBACKS ALLOWED:**

The Developer shall be allowed the following side yard setbacks in the Development:

1. The front yard setback shall be measured off of Lookout Ridge Road and shall be 12' as measured from the outermost edge of any deck or building corner.
2. The rear yard setback shall be a minimum of 20' per the Mixed Use Zone District standard.
3. The side yard setbacks shall be a minimum of 8' per the Mixed Use Zone District standard.

**E. PARKING LOT DESIGN STANDARDS:**

The Developer shall be allowed the following parking lot grades in the Development:

1. Parking Lot grades shall not exceed Four percent (4%)
2. Off Street Parking Regulations set forth in Section 16-6 of the Code, as in effect at the time of issuance of the building permit, shall govern and control.

**F. LANDSCAPING REQUIREMENTS:**

The Developer shall meet or exceed the following minimum landscaping requirements:

1. The street tree requirement set forth in Section 16-6-60 of the Code, as in effect at the time of issuance of the building permit, shall govern and control.
2. Interior parking lot islands are not required.

**G. BUILDING MATERIALS ALLOWED:**

The Developer shall be allowed the following building materials in the Development:

1. Buildings materials shall consist of the materials on the architectural drawings.

**H. ARCHITECTURAL DESIGN ALLOWED:**

The Developer shall be allowed the following architectural design in the Development:

1. The roof shall be designed with a combination of 4:12 roof planes with additional 8:12 roof planes over the proposed stairwells.
2. The Architectural design shall be as set forth on Exhibit "C."

**I. SIGNAGE ALLOWED:**

The Developer shall be allowed the following signage in the Development:

1. The Development shall be allowed one (1) freestanding monument sign along Lookout Ridge Road in conformance with Section 16-11 of the Code, as in effect at the time of issuance of the individual sign permit.
2. Individual building signs shall conform to the requirements of Section 16-11 of the Code, as in effect at the time of issuance of the individual sign permit.

**SECTION II. CONSTRUCTION SCHEDULE:**

A. Developer shall construct and complete the Development in a timely manner. This shall require that the Developer begin construction within twenty-four (24) months of the date, set forth above, of this Agreement, and continue without interruption until completed. Failure to begin such construction within twenty-four (24) months of the date of this Agreement or failure to continue construction without interruption until completed shall cause the Block 6 Amendment approval to be rescinded and this Agreement to terminate and become null and void.

B. No building permits for the Development shall be issued until the Developer has delivered to the Town a performance guarantee ("**Performance Guarantee**") in the

form of a letter of credit, in the form as set forth on Exhibit “I,” attached hereto and incorporated herein by this reference, guaranteeing the construction of the Improvements (the “**Letter of Credit**”). No building permits for the Development shall be issued until the Developer has complied with all applicable requirements as set forth herein, with all Code requirements, and has paid all fees and costs due and owing to the Town in relation to the Development.

C. The Improvements shall be completed prior to, or concurrent with, the construction of any buildings within the Development, and no Certificates of Occupancy shall be issued by the Town until all Improvements are completed and accepted by the Town, and all requirements of this Agreement complied with by Developer.

**SECTION III. DEVELOPER’S OBLIGATION NOT CONTINGENT:**

The Developer’s obligation to complete the Improvements shall become binding upon the Developer upon the date of this Agreement, shall be independent of any obligations of the Town that may be contained herein, and shall not be conditioned upon the sale or completion of any lot or any buildings within the Development.

**SECTION IV. CONSTRUCTION STANDARDS; WARRANTY PERIOD:**

A. The Improvements shall be constructed in accordance with all applicable laws, ordinances, codes, the Code, regulations and standards, including without limitation, the Town of Dillon Construction Specifications, Street Standards, Water Department Standards, Silverthorne-Dillon Joint Sewer Authority and Sanitation District Standards, Landscaping Standards of the Town of Dillon, and all applicable Town and local jurisdiction’s ordinances, laws and standards.

B. Warranty Period for Improvements. The Developer shall assure the satisfactory construction and maintenance of the Improvements for a period of one (1) year after the date of their final approval and acceptance by the Town, as set forth in Section IX, below (the “**Warranty Period**”). The Performance Guarantee shall serve for such Warranty Period, as set forth in Sections VII and VIII, below.

**SECTION V. COMPLIANCE WITH APPLICABLE LAWS:**

The Developer shall comply with all applicable laws, ordinances, rules, the Code and regulations then in effect and as they may be amended from time to time.

**SECTION VI. COMPLIANCE WITH DEVELOPMENT PERMIT:**

The Developer shall strictly comply with the terms, conditions, limitations and requirements of the Development Permit issued by the Town.

**SECTION VII. PERFORMANCE GUARANTEE:**



The estimated cost of constructing the Improvements required in Section I.A., above, and are itemized and set forth on Exhibit "G." The actual cost of constructing the Improvements required in Section I.A., and itemized on Exhibit "G." shall be finally determined by the Developer and agreed to by the Town prior to the issuance of any permits for this Development. Accordingly, in conformance with Code requirements, prior to issuance of any permits for the Development, the Developer shall post an irrevocable Letter of Credit issued by a qualified lending institution acceptable to the Town, in the form as set forth on Exhibit "I," in the agreed upon amount of the cost of constructing the Improvements with the Town as a guarantee of the performance of its obligations under this Agreement. Said Letter of Credit shall be in a minimum amount of One Hundred Twenty percent (120%) of the estimated cost of constructing the Improvements and shall be for an initial term of not less than one year, renewable automatically for additional one year periods unless notice is given to the Town sixty days in advance of non-renewal. No permit of any kind shall be issued by the Town prior to the Developer delivering to the Town the irrevocable Letter of Credit as required herein.

#### **SECTION VIII. RELEASE OR REDUCTION OF PERFORMANCE GUARANTEE; MAINTENANCE OF IMPROVEMENTS:**

A. The Town will not accept the required Improvements, nor release a Performance Guarantee, until the Town Engineer has indicated that all required Improvements have been satisfactorily completed and until the Developer's engineer has certified to the Town Engineer, through submission of detailed as-built plans of the Development Improvements, that all Improvements have been installed in accordance with the approved construction plans for the Development and are ready for dedication to the Town or other appropriate agencies. No Performance Guarantee or Letter of Credit will be released prior to the expiration of the Warranty Period.

B. A Performance Guarantee may be reduced by the Town upon actual completion of Improvements and then only in the ratio that the Improvements completed bear to the total Improvements of the Development. In no event shall a Performance Guarantee be reduced below twenty percent (20%) of the principal amount until all Improvements have been completed, the Warranty Period has been met and the Improvements have been accepted by the Town. Partial release of the Letter of Credit may be made only in accordance with Code requirements. The Letter of Credit shall guarantee that all Improvements shall remain free from defect for the required Warranty Period.

C. The Performance Guarantee shall be released and returned to the Developer, without interest thereon, only at such time as the Town Manager determines, in his sole discretion, that: 1) all of the Improvements have been properly constructed or installed, 2) all Code requirements are met, 3) the Warranty Period has been met, and 4) the Improvements have been finally approved and accepted by the Town.

D. The Developer shall maintain the Improvements in the Development and to provide for snow removal, street cleaning, drainage and general maintenance of the streets and sidewalks prior to final acceptance by the Town. In the event the Developer fails to comply, the Town is authorized, through the Town Manager, to perform the necessary

work without incurring any liability and charge such work to the Developer. If not paid, any such charges shall become a first and prior lien on the Development.

**SECTION IX. FINAL APPROVAL OF IMPROVEMENTS AS CONSTRUCTED:**

The Town's final approval of the completed Improvements shall be evidenced by a letter of final approval signed by the Town Engineer or Director of Public Works. The Town shall not be required to grant final approval of the Improvements until the Town has determined the following:

A. The Improvements have been satisfactorily completed in accordance with the approved Development Plan, Site Plan, Construction Plans, Architect's Elevations Landscape Plan, and Town of Dillon Construction Specifications, and all requirements for the Development have been completed.

B. The Developer has delivered to the Town all as-built drawings for all Improvements, including, but not limited to, the utility and drainage facilities.

**SECTION X. DEFAULT:**

The following conditions, occurrences or actions shall constitute a default by Developer under this Agreement:

A. Developer's failure to commence construction of the Improvements within two (2) years of the date of this Agreement.

B. Developer's failure to cure the defective construction of any Improvement within thirty (30) days of being notified by the Town in writing that such a defect exists except that if the cure of such defect will reasonably require more than thirty (30) days to cure then Developer will be in default if Developer fails to cure such defect within such longer period of time, such period not to exceed ninety (90) days from the date of said notice.

C. Developer's failure to perform work within the Development for a period of more than sixty (60) consecutive days, without the prior written approval of the Town.

D. Developer's insolvency, the appointment of a receiver for the Developer or the filing of a voluntary or involuntary petition in bankruptcy respecting the Developer; or

E. Foreclosure of any lien against the Development or a portion of the Property or assignment or conveyance of the Property or the Development in lieu of foreclosure prior to the final approval and acceptance of the Improvements by the Town as provided in Section IX.

F. Violation of any term or condition of this Agreement.

The Town may declare a default following three (3) days written notice to the Developer.

#### **SECTION XI. MEASURE OF DAMAGES:**

The measure of damages for breach of this Agreement by the Developer shall be the actual cost of completing the Improvements, including design, engineering, construction, construction management, legal and inspection costs, as well as all costs incurred by the Town, including attorneys' costs, in pursuing such breach and remedy. For Improvements upon which construction has not begun, the estimated cost of the Improvements as supplied by Developer pursuant to the Agreement and shown on the attached Exhibit "G" shall be prima facie evidence of the minimum cost of completion; however, neither that amount nor the amount of the Performance Guarantee establishes the maximum amount of the Developer's liability, and Developer's liability shall be the Town's actual cost including those items set forth herein above. The Town shall be entitled to complete all unfinished Improvements at the time of default regardless of the extent to which development has taken place in the Development or whether development ever commenced.

#### **SECTION XII. TOWN'S RIGHTS UPON DEFAULT:**

A. The Town may, but shall not be required to, have the Improvements constructed by such means and in such manner as the Town shall determine, without the necessity of a public bidding.

B. If the Town elects to have the Improvements constructed pursuant to this Section it shall have the right to use Developer's Performance Guarantee to pay for the construction of such Improvements. If the amount of the Performance Guarantee exceeds the cost of constructing the Improvements, the Town shall deliver any excess funds to the Developer. If the Performance Guarantee is insufficient to fully pay the cost of constructing such Improvements, the Developer shall, upon demand, pay such deficiency to the Town, together with costs and interest thereon as provided in Sections XIII and XIV.

C. The Town may exercise such rights it may have under Colorado law, including, without limitation, the right to bring suit against the Developer for specific performance of this Agreement, or to recover damages for the breach by the Developer of this Agreement.

D. The Developer hereby grants to the Town, its successors, assigns, agents, contractors and employees, a non-exclusive right and easement to enter the Property for the purpose of constructing, maintaining and repairing any Improvements made by the Town pursuant to the provisions of this Section.

E. In addition to any remedies provided for herein or by law, while the Developer is in default under this Agreement, the Town may refuse to issue building permits, development permits and certificates of occupancy for the Development and the Developer shall have no right to sell, transfer, or otherwise convey the lots, buildings or

units within the Development or the Development itself without the express prior written approval of the Town, which approval may be withheld at the Town's sole discretion.

F. The remedies provided for herein are cumulative in nature.

### **SECTION XIII. INTEREST:**

Any sum which is required to be paid by the Developer to the Town under this Agreement and which is unpaid shall accrue interest at the rate of eight percent (8%) per annum commencing as of the date such sum was due.

### **SECTION XIV. ATTORNEY'S FEES:**

It is agreed that if any action is brought in a court of law by either party to this Agreement concerning the enforcement, interpretation or construction of this Agreement, the prevailing party, either at trial or upon appeal, shall be entitled to reasonable attorney's fees, as well as cost, including expert witness fees incurred in the prosecution or defense of such action.

### **SECTION XV. INDEMNIFICATION:**

The Developer agrees to indemnify and hold the Town, its officers, employees, consultants, insurers, and self-insurance pool harmless from and against all liability, claims, and demands on account of injury, loss or damage, including without limitation claims arising from bodily injury, personal injury, sickness, disease, death, property loss or damage, or any other loss of any kind whatsoever which arise out of or are in any manner connected with the construction of the Improvements, if such injury, loss or damage is caused in whole or in part by, or is claimed to be caused in whole or in part by the act, omission, error, professional error, mistake, negligence or other fault of the Developer, any subcontractor of the Developer, or any officer, employee, representative, or agent of the Developer or of any subcontractor of the Developer, or which arise out of any worker's compensation claim of any employee of the Developer, or of any employee of any subcontractor of the Developer. The Developer agrees to investigate, handle, respond to, and to provide defense for and defend against any such liability, claims, or demands at the sole expense of the Developer. The Developer also agrees to bear all other costs and expenses related thereto, including court costs and attorney fees, whether or not such liability, claims or demands alleged are determined to be groundless, false or fraudulent.

### **SECTION XVI. NO WAIVER:**

No waiver of any provision of this Agreement shall be deemed or constitute a waiver of any other provision, nor shall it be deemed to constitute a continuing waiver unless expressly provided for by a written amendment to this Agreement, signed by both Town and Developer; nor shall the waiver of any default under this Agreement be deemed a waiver of any subsequent default or defaults of the same type. The Town's failure to exercise any right under this Agreement shall not constitute the approval of any wrongful act by the Developer or the acceptance of any Improvements.

**SECTION XVII. VESTED RIGHTS:**

This Agreement shall not alter, extend or modify the vested right obtained by the Developer in connection with the approval of the Development.

**SECTION XVIII. RECORDATION:**

This Agreement shall be recorded in the office of the Clerk and Recorder of Summit County, Colorado. Developer shall pay all costs of recording.

**SECTION XIX. IMMUNITY:**

Nothing contained in this Agreement shall constitute a waiver of the Town's governmental immunity under applicable state and federal laws. The parties hereto understand and agree that the Town is relying on, and does not waive or intend to waive by any provision of this Agreement, the monetary limitations or any other rights, immunities, and protections provided by the Colorado Governmental Immunity Act, Section 24-10-101, *et seq.*, C.R.S., as from time to time amended, or any other law, protection or limitation otherwise available to the Town, its officers, or its employees.

**SECTION XX. PERSONAL JURISDICTION AND VENUE:**

Personal jurisdiction and venue for any civil action commence by either party to this Agreement, whether arising out of or relating to the Agreement or the Performance Guarantee, shall be deemed to be proper only if such action is commenced in District Court of Summit County, Colorado. The Developer expressly waives its rights to bring such action in or to remove such action to any other court, whether state or federal.

**SECTION XXI. CODE CHANGES:**

References in this Agreement to any provision of the Code, Town of Dillon Construction Specifications or to any Town or other governmental standards are intended to refer to any subsequent amendments and/or revisions to such Code, Town of Dillon Construction Specifications or standards. Such amendments or revisions shall be binding upon Developer.

**SECTION XXII. ASSIGNMENT, DELEGATION AND NOTICE:**

Developer shall provide to the Town, for consent, written notice of: 1) any proposed transfer of title to all or any portion of the Development, 2) arrangements for delegation or transfer of the Improvement obligations hereunder to any successor, and 3) successor's written acceptance of such Improvement obligations. Notwithstanding the forgoing, Developer may sell developed units without Town's consent, provided that the purchaser deposits with the Town all guaranties, security and sureties that may be required under this Agreement. Until the Town provides written consent to the assignment, Developer and Developer's successors and assigns shall be jointly and severally liable for the assigned

Improvement obligations. The Town may withhold its consent in the event it reasonably determines that the Improvement obligations or any constituent element of this Agreement may not be fulfilled through assignment or that the benefit of Town's bargain under this Agreement may be materially and adversely impaired by such assignment.

**SECTION XXIII. NOTICES:**

Any notice required or permitted hereunder shall be in writing and shall be sufficient if personally delivered or mailed by certified mail, return receipt required, addressed as follows:

If to the Town: Town Manager  
Town of Dillon  
P.O. Box 8  
Dillon, CO 80435

If to the Developer: Dillon Ridge Investments, LLC  
\_\_\_\_\_  
\_\_\_\_\_  
Attn: \_\_\_\_\_

Notices mailed in accordance with the provision of this Section shall be deemed to have been given on the third business day after mailing. Notices personally delivered shall be deemed to have been given upon delivery. Nothing herein shall prohibit the giving of notice in the manner provided for in the Colorado Rules of Civil Procedure for service of civil process.

**SECTION XXIV. THIRD PARTIES:**

This Agreement does not, and shall not be deemed or construed to confer upon or grant to any third party (except a party to whom the Developer may assign this Agreement in accordance with the terms hereof) any right to claim damages or to bring suit, action or other proceeding against the Town because of any breach hereof or because of any of the terms, covenants, agreements, and conditions herein.

**SECTION XXV. ENTIRE AGREEMENT:**

This Agreement constitutes the entire Agreement and understanding between the parties relating to the subject matter of this Agreement and supersedes any prior Agreement or understanding relating to such subject matter.

**SECTION XXVI. SEVERABILITY:**

It is understood and agreed by the parties hereto that if any part, term or provision of this Agreement is held by a court of competent jurisdiction to be illegal or in conflict with any law, state or federal, the validity of the remaining portions or provisions hereof shall not be affected, and the rights and obligations of the parties shall be construed and enforces as if the Agreement did not contain the particular part, term or provision held to be invalid.

**SECTION XXVII. MODIFICATION:**

This Agreement may be modified or amended only by a duly authorized written instrument executed by the parties hereto.

**SECTION XXVIII. BINDING EFFECT:**

This Agreement shall run with the Development and the real property contained therein and shall be binding upon, and shall inure to the benefit of the parties hereto and their respective heirs, successors, assigns, and legal representative.

**SECTION XXIX. GOVERNING LAW:**

This Agreement shall be interpreted in accordance with the laws of the State of Colorado.

**SECTION XXX. WORKFORCE HOUSING RESTRICTIVE COVENANT AND AGREEMENT:**

Developer shall dedicate in perpetuity eighteen (18) deed restricted units (six [6] units in each of the three buildings), equaling fifty percent (50%) of the total units in the Development to serve as local workforce housing. Local workforce housing is defined as persons living and working in Summit County at a minimum of 30 hours a week.

The Developer shall enter into the Workforce Housing Restrictive Covenant and Agreement, a copy of which is attached hereto, marked as Exhibit "K" and incorporated herein by reference (the "**Workforce Housing Restrictive Covenant and Agreement**") prior to the issuance of building permits for the Development. The Development will be subject to the Workforce Housing Restrictive Covenant and Agreement that shall run with the land restricting occupancy and sale of the restricted units to qualified persons who fall within established guidelines related to workforce and employee housing.

**SECTION XXXI. INCORPORATION OF EXHIBITS:**

The attached Exhibits "A" through "K" inclusive are incorporated herein by reference.

*[Signatures on Following Page]*





## **LIST OF EXHIBITS**

- Exhibit A – Site Plan
- Exhibit B – Development Plan
- Exhibit C – Architectural Plan
- Exhibit D – Landscape Plan
- Exhibit E – Utility Easement Description
- Exhibit F – Utility Easement Form
- Exhibit G – Improvements and Estimated Cost of Improvements
- Exhibit H – Resolution and Conditions of Approval
- Exhibit I – Letter of Credit form
- Exhibit J – Site Lighting Fixtures
- Exhibit K – Workforce Housing Restrictive Covenant and Agreement

EXHIBIT "A"  
SITE PLAN

EXHIBIT "B"  
DEVELOPMENT PLAN

EXHIBIT "C"  
ARCHITECTURAL PLAN

EXHIBIT "D"  
LANDSCAPE PLAN

EXHIBIT "E"  
UTILITY EASEMENT DESCRIPTION

EXHIBIT "F"  
UTILITY EASEMENT FORM

EXHIBIT "G"  
IMPROVEMENTS AND ESTIMATED COST OF IMPROVEMENTS



EXHIBIT "H"  
RESOLUTION AND CONDITIONS OF APPROVAL

EXHIBIT "T"  
LETTER OF CREDIT FORM

**IRREVOCABLE LETTER OF CREDIT**

**INSERT PROPERTY IDENTIFICATION  
(IF FOR 2 YEAR WARRANTY ADD APPROPRIATE ITEM: LANDSCAPING OR  
HARDSCAPE OR TOTAL SUBDIVISION IMPROVEMENTS)**

Town of Dillon  
275 Lake Dillon Drive  
P.O. Box 8  
Dillon, CO 80435

No.  
Issue Date:  
Expiration:

Ladies and Gentlemen:

We hereby authorize you to draw on us for the account of up to an aggregate amount of \$ \_\_\_\_\_ (insert amount in words) available by your drafts at sight accompanied by your signed statement that either (a) the drawing is for payment of public improvements pursuant to: Town of Dillon Subdivision Improvement Agreement/Development Agreement/PUD Agreement dated \_\_\_\_\_, entered into between the Town of Dillon, Colorado and \_\_\_\_\_ (Include name of subdivision/development and filing number [if applicable]) (the "Development Agreement") or (b) "We have received notification from \_\_\_\_\_ (Title of Bank) that Letter of Credit No. \_\_\_\_\_ will not be extended for a further period, and [APPLICANT NAME] has not replaced this Letter of Credit or provided other acceptable security.

Partial Drawings are permitted. In the event of a partial drawing, the original Letter of Credit will be returned to the Town of Dillon by the issuing Bank after endorsement. Drafts must be drawn and presented for payment on or before \_\_\_\_\_ (expiration date). Each draft presented under this letter of credit must state that it is drawn under (Title of Bank and identification of the Letter of Credit) and the amount endorsed on this letter of credit.

We hereby agree with the drawers, endorsers and bona fide holders of all drafts drawn under and in compliance with the terms of this Letter of Credit that such drafts will be duly honored upon the presentation to the drawee.

This Letter of Credit shall be automatically extended without amendment for additional periods of one year from the present or any future expiration date hereof unless at least sixty (60) days prior to any such date we shall notify you in writing by overnight courier service that we elect not to so extend this Letter of Credit.

Except as expressly provided herein, this Letter of Credit is governed by the Uniform Commercial Code of the State of Colorado.

Yours very truly,

By: \_\_\_\_\_  
Title: \_\_\_\_\_

Attest: \_\_\_\_\_

EXHIBIT "J"  
SITE LIGHTING FIXTURES

EXHIBIT "K"  
WORKFORCE HOUSING RESTRICTIVE COVENANT AND AGREEMENT

